

**INTERGOVERNMENTAL AGREEMENT REGARDING
2021 GRANT OF ARAPAHOE COUNTY OPEN SPACE PROGRAM FUNDS
PROJECT NAME: PEAKVIEW PARK RENOVATION**

This Intergovernmental Agreement (“Agreement”), is made and entered into by and between **THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF ARAPAHOE, STATE OF COLORADO**, (the “County”) and **CHERRY CREEK VISTA PARK AND RECREATION DISTRICT**, a special district and political subdivision of the State of Colorado (the “Grantee”) (collectively, “Parties” and individually a “Party”).

WHEREAS, on November 4, 2003, and on November 1, 2011, the voters of Arapahoe County approved a county-wide sales and use tax to be deposited in the Arapahoe County Open Space Fund and used for specified open space purposes as set forth in County Resolution No. 030381, as amended by Resolution No. 110637 (Open Space Resolution); and

WHEREAS, the Open Space Resolution authorizes the County to award discretionary grants from its Open Space Fund to municipalities and special districts, as more fully set forth therein; and

WHEREAS, on July 6, 2021 the County approved the Grantee’s Grant Proposal for the Peakview Park Renovation ("Grant Project"), which is attached hereto and incorporated by reference herein as Exhibit A, subject to the execution of an intergovernmental agreement and subject to the terms and conditions contained herein; and

WHEREAS, this intergovernmental agreement is authorized by Article XIV, Section 18 of the Colorado Constitution and COLO. REV. STAT. § 29-1-203.

NOW, THEREFORE, the County and the Grantee agree as follows:

1. Amount of Grant. The County hereby awards Grantee an amount not to exceed **\$500,000** ("Grant Funds") for the Grant Project from the Arapahoe County Open Space Fund.
2. Use of Grant Funds. The Grantee agrees that it shall only use the Grant Funds for the Grant Project, as described in Exhibit A.
3. Disbursement of Grant Funds. Subsequent to execution of this Agreement, the Grant Funds shall be paid via ACH transfer on a reimbursement basis upon receipt of the approved status report and documentation of expenditures as outlined in Paragraph 10 below and no more often than bi-annually. No more than 75% of the grant funds will be reimbursed prior to the Final Report approval. The final 25% of grant funds will be reimbursed following the project inspection and review and approval of the Final Report and project deliverables.
4. Time for Use of Grant Funds. The Grantee agrees that the Grant Project must begin within 60 days of the award notification. The Grantee agrees that the Grant Project will be completed and the Grant Funds will be expended by no later than

two years from the date of this fully executed Agreement, unless a longer period of time is otherwise agreed to by the County in writing. The Grantee understands and agrees that if the Grant Project cannot be completed by the end of the agreed upon time period the County may require that the Grant Funds be refunded to the County Open Space Grant Fund, be re-distributed to another agency and/or be used for another viable and timely grant project.

5. Interest on Grant Funds. The Grantee further agrees that, after receipt of the Grant Funds, the Grantee will use any interest earned on the Grant Funds only for the Grant Project as set forth in Exhibit A.
6. Administration of Grant Project. The Grantee shall be responsible for the direct supervision and administration of the Grant Project. The County shall not be liable or responsible for any cost overruns on the Grant Project, nor shall the County have any duty or obligation to provide any additional funding for the Grant Project if the Grant Project cannot be completed with the awarded Grant Funds. Grantee also agrees to comply with all local, state and federal requirements while completing the Project unless specifically waived.
7. Grant Project Site Visits. Upon 24 hours written notice to the Grantee, the Grantee agrees to allow the County to make site visits before, during, at the completion of and/or after the Grant Project.
8. Acknowledgement of County by Grantee. The Grantee agrees to acknowledge the County as a contributor to the Grant Project in all publications, on-site construction signage, news releases and other publicity issued by the Grantee related to the Grant Project and agrees to allow the County to do the same. If any events are planned in regards to the Grant Project, the County shall be acknowledged as a contributor in the invitation to such events. Grantee shall cooperate with the County in preparing public information pieces, providing photos of the Grant Project from time to time, and providing access to the Grant Project for publicity purposes. Event information, event materials and press release information related to the Grant Project must be sent to the County Grants Program Administrator for review and filing.
9. Required Sign at Project Site. The County agrees to provide a standard sign for each grant project. Grantee agrees to erect and permanently maintain at least one sign in a publicly visible area in recognition of the Grant from the Arapahoe County Open Space Program. If the Grantee wishes to use their own sign and design, the Grantee must submit the sign location, design, and wording to the County Grants Program Administrator for approval prior to manufacture and/or installation of such sign. Such sign shall be erected prior to the completion of the Grant Project or its public opening, whichever is earlier.
10. Report Requirements. On or before **January 31st and July 31st annually**, the Grantee agrees to provide the County with Grant Project Progress Reports that conform to the format provided by the County. Each Grant Project Progress Report shall include supporting financial documentation as requested in the form

provided. Upon completion of the Grant Project, the Grantee also agrees to submit to the County a Final Report that conforms to the format provided by the County; a final spreadsheet comparing the original budget to actual expenses that certifies Grant Funds used in compliance with the Open Space Resolution; supporting financial documentation as requested in the County report form; and high resolution photographs of the progress and finished results of the Grant Project. The Grantee further agrees to provide the County with digital copies of said photographs, delivered as separate high resolution jpeg images. The Final Report shall be submitted within three (3) months of Grant Project completion unless a longer period of time has been agreed to by the County in writing. The County shall be allowed to use information and images from these reports in publications, public information updates, and on the County's web site.

11. Failure to Submit Required Reports. Upon written notice from the County's Open Space Grants Program Administrator, informing the Grantee that it has failed to submit any required status report and/or final report, the Grantee shall submit such reports to the County through the County's Open Space Grants Program Administrator within thirty (30) days, and, if it fails to do so, the Grantee shall be deemed to be in violation this Agreement *pursuant to Paragraph 15, below.*
12. Record Keeping Requirements. The Grantee shall maintain a complete set of books and records documenting its use of the Grant Funds and its supervision and administration of the Grant Project. The County or any of its duly authorized representatives shall have reasonable access to any books, documents, papers, and records of the Grantee which are pertinent to the Grant Project for the purpose of making an audit, examination, or excerpts. The Grantee shall keep all books, documents, papers, and records, which are pertinent to the Grant Project, for a minimum of three years from the project completion date.
13. Changes to Grant Project. The Grantee agrees and understands that its Grant Project, once it has been approved by the County, may not be changed without the County's prior approval. Proposed changes must be formally requested using the applicable Grant Project Modification Form provided by the County. Changes may not begin until the County has issued an approval, which may also require the execution of an amendment to this Agreement.
14. Maintenance. Grantee agrees to assume responsibility for continuous long-term maintenance and public safety of open space lands, trails, recreation facilities, amenities, signage or other projects funded by the Grant Funds.
15. Failure to Comply and Reimbursement of Grant Funds. The Grantee understands and agrees that the County may require the Grantee to reimburse the County if any portion of the Grant Funds are not used in accordance with its approved Grant Proposal and this Agreement. Failure to comply with the terms of this Agreement shall result in default and the Grantee shall be ineligible for any future Grant Funds until the violation is remedied or after such other time period as determined by the County.

16. Remedies. The rights and remedies of the County as set forth in this Agreement shall not be exclusive and are in addition to any other rights or remedies provided by law.
17. No Waiver of Rights. A waiver by either Party to this Agreement of the breach of any term or provision of this Agreement shall not operate or be construed as a waiver of any subsequent breach by either Party.
18. Relationship of the Parties. The Grantee shall perform all duties and obligations under this Agreement as an independent contractor and shall not be deemed by virtue of this Agreement to have entered into any partnership, joint venture, employer/employee, or other relationship with the County.
19. No Third Party Beneficiaries. Nothing in this Agreement shall give or allow any claim or right of action whatsoever by any third party, including, but not limited to, any agents or contractors of the Grantee.
20. Severability. Should any one or more provisions of this Agreement be determined to be illegal or unenforceable, all other provisions nevertheless shall remain effective; provided, however, the Parties shall forthwith enter into good faith negotiations and proceed with due diligence to draft a provision that will achieve the original intent of the Parties hereunder.
21. Written Amendment Required. This Agreement may be amended, modified, or changed, in whole or in part, only by written agreement duly authorized and executed by the County and the Grantee.
22. Venue. Venue for the trial of any action arising out of any dispute hereunder shall be in Arapahoe County District Court, pursuant to the appropriate rules of civil procedure.
23. Notices. Notices, as referred to in this Agreement, shall be sent to:

COUNTY: Board of County Commissioners of Arapahoe County
5334 South Prince Street
Littleton, Colorado 80120-1136

and

Arapahoe County Attorney
5334 South Prince Street
Littleton, Colorado 80120-1136

and

Arapahoe County Open Space Grants Program Administrator
6934 S Lima St, Unit A
Centennial, Colorado 80112

and

GRANTEE:

Cherry Creek Vista Park and Recreation District
PO Box 359
Littleton, CO 80160

24. Applicable Law. This Agreement shall be construed and enforced in accordance with the laws of the State of Colorado.
25. Counterparts. This Agreement may be executed in multiple counterparts, each of which will be deemed to be an original and all of which taken together will constitute one and the same agreement.
26. Incorporation of Exhibits. Unless otherwise stated in this Agreement, any exhibits, applications, resolutions, or other documents referenced in this Agreement shall be incorporated by reference into this Agreement for all purposes.
27. Section Headings. The headings for any section of this Agreement are only for the convenience and reference of the Parties and are not intended in any way to define, limit or describe the scope or intent of this Agreement.
28. Assignment. The rights, or any parts thereof, granted to the Parties herein may be assigned only with the prior written consent of the non-assigning party.
29. Extent of Agreement. This Agreement constitutes the entire agreement of the Parties hereto. The Parties agree that there have been no representations made regarding the subject matter hereof other than those, if any, contained herein, that this Agreement constitutes the entire agreement of the Parties with respect to the subject matter hereof, and further agree that the various promises and covenants contained herein are mutually agreed upon and are in consideration of one another.
30. Signatures. The signatories to this Agreement represent that they are fully authorized to execute this Agreement and bind their respective entities.

IN WITNESS WHEREOF, the County and the Grantee have executed this Agreement as of the date set forth below.

DATED this 30th day of August, 2021.

ATTEST:

GRANTEE:

By: *David Mohrhaus*
Name David Mohrhaus
Title Board Secretary

By: *Stephanie Kamlet*
Name Stephanie Kamlet
Title Board President

ATTEST:

COUNTY OF ARAPAHOE
STATE OF COLORADO

By: _____
Name
Title

By: *Shannon Carter*
Shannon Carter, Director, Intergovernmental
Relations and Open Spaces
Pursuant to Resolution No. 21-062

EXHIBIT A

Sarah Shepherd

Cherry Creek Vista Park and Recreation District

Peakview Park Renovation Project

2021 Standard and Small Grant Application

Cherry Creek Vista Park and Recreation District

Sarah Shepherd

sees@ccrider.us

Application Form

Application Summary

Primary Contact Information*

Please provide information for the primary contact for this project in the following format.

Agency:

Name:

Title:

Telephone:

Email:

Agency: Cherry Creek Vista Park and Recreation District

Name: Sarah Shepherd

Title: District Manager

Telephone: 303-482-1002 x. 700

Email: sees@ccrider.us

Grant Category*

Select One:

- **Standard Grant:** \$100,001 - \$500,000, requiring a minimum of 25% total project cost cash match
- **Small Grant:** \$1,000 - \$100,000, requiring a minimum of 10% total project cost cash match

Standard Grant

Project Type*

Select One:

- **Trail Project:** Trail/trailhead construction or improvement, including stream/road crossings and trailhead amenities (such as parking or shelters)
- **Site Improvement Project:** New construction, improvement, repair, or replacement of outdoor recreation facilities or amenities (such as playgrounds, shelters, sports fields, restrooms, or interior trail connections)
- **Environmental/Cultural Education Project:** Eligible projects include outreach materials (such as printed materials, video, or displays), installations (such as signage), or associated outdoor amenities (such as shelters or native landscaping)
- **Acquisition Project:** Eligible projects include fee simple acquisition of land for public open space, parks, or trails; or acquisition of a trail or conservation easement. *Additional application materials are required.*
- **Other Project:** Other allowable projects include stream/habitat restoration, natural re-vegetation, and water quality improvement

Site Improvement Project

Project Title*

Peakview Park Renovation Project

Project Address*

6294 S Kenton Way, Englewood, CO 80111

Project Location*

Select a Jurisdiction or Unincorporated Arapahoe County:

Unincorporated Arapahoe County

GPS Coordinates (Latitude in Decimal Degrees)*

Example: Dove Valley Regional Park

Latitude: 39.577303

39.603024

GPS Coordinates (Longitude in Decimal Degrees)*

Example: Dove Valley Regional Park

Longitude: -104.828850

-104.859793

Grant Request Amount*

\$500,000.00

Cash Match Amount*

\$168,342.00

Total Project Amount*

Total project amount includes grant request and cash match only. Please do not include in-kind match.

\$668,342.00

Cash Match Percentage*

Calculate cash match as % of total project cost.

25

Project Partners

List partner agencies if applicable.

There are no partner agencies for this project.

Executive Summary*

Highlight key points of your proposal, such as project description, goals, need, partnerships, deliverables, etc.

The goal of the Peakview Park Renovation project is to improve and reinvigorate the largest of District's neighborhood parks with new/improved amenities and increased numbers of fulfilled park users, so the park achieves its stated goal as "a neighborhood park with regional feel, due to its expansive views, skyline, topography, and connection to greater State Park trail system. It will be a place for active organized or recreational fun, a quiet destination, and a trailhead for sports teams and leagues, neighbors, families, and adventurers."

In 2020, the District applied for and received a planning grant from Arapahoe County Open Space and completed the planning grant phase, which included a master planning process, incorporating prior park district strategic planning survey data, multiple community planning committee meetings via zoom and onsite, and stakeholder development input throughout. The planning process produced: [1] a design and sustainability plan; [2] completed engineer plan documents, construction drawings, specifications for materials, supplies and construction of new playground/improved older playground, repaired tennis court, new pickle-ball court, baseball infield, water-wise landscaping improvements, and new and replaced signage/site amenities; [3] bid documents; [4] cost estimates; [5] timelines for construction; [6] submitted full site plan, GESC/stormwater plans submitted to the County and SEMSWA with anticipated permit issuance in the coming 60-days.

These planning outcomes, paired with the funding available to match a grant award, position the District to secure construction contracts (contingent upon funding) and begin construction as soon as funding is secured. Plans include: [1] new and renovated ADA playground with shade coverage; [2] repaired basketball and tennis courts; [3] new pickle-ball court and new dirt baseball infield/backstop; [4] additional seating and signage throughout the park; [5] improved water-wise landscaping/sod reduction in passive use areas; [5] repaired parking lot.

In addition to these important changes, the plan preserves the park's expansive skyline aesthetics and increases its large tree canopy. The park is a large, with varied open areas and hills suitable for many uses. The park will be even more well-utilized by its many participants--walking, biking, running to/from regional trail access, soccer/baseball, basketball, tennis, pickle-ball, playground use, picnics, community events and passive rest/observation in the open space setting.

The need for these improvements is immediate and must be completed for the park to be up to current ADA and safety standards as well as to be best utilized to its greatest potential. The need for this grant is immediate, because the matching funds that the District has to leverage in its cash match will not be available for use after the planned project timeline for this grant cycle ends (2023) (due to debt service spending restrictions which is the source from which the matching dollars are available). If the grant is not awarded, the completion of these improvements and access will not be feasible without multi-year phasing, which would result in long visible construction and un-ideal outcomes and timing that would not deliver on the efficient spending of these funds nor provide the outcomes that the community has indicated it expects from this park.

At the conclusion of the proposed process, the District will have delivered the following: [1] payment for, and completion of, all renovations included in the designs as submitted herein, paired with updates to the maintenance plan and budget for the long-term future; [2] community communication for increased awareness of the park and grant program that exceeds all minimum required signage and acknowledgement of all partners, including ACOS.

The result will be a park that has up-to-date, greatly-increased amenities and active use areas and for benefit of the Arapahoe County public.

Minimum Qualifications and Eligibility

Question 1*

Is the applicant in good standing with Arapahoe County Open Spaces? Please list your agency's ongoing Arapahoe County Open Spaces grant projects.

The District is in good standing with Arapahoe County Open Space. In this grant cycle, the District is applying for this standard grant. There is one planning grant (Peakview Park Renovation Planning Grant, for which the final report has been submitted). There are no other on-going grants that the District is involved with the Arapahoe County Open Space Grant Program. Further, in the past five years, the District applied for and received the following project and planning grants from Arapahoe County Open Space: The Planning Grants for Windemere Park and Cherry Creek Vista II Park, and the Project Grants for Lakeview Park Fields, Cherry Creek Vista II Park, and Windemere Park. All grants were completed within their forecasted timelines or extensions, if needed and per their outlined scopes. The District is very grateful for the ongoing partnership with the ACOS throughout these projects.

Question 2*

How does this project align with the Arapahoe County Open Space Master Plan, Arapahoe County Bicycle and Pedestrian Master Plan, an agency master plan, or other approved planning documents?

This park is within Arapahoe County—the Park's Holistic Vision Plan (ref. attachments) was developed in the 2020 ACOS planning grant process. This “proactive*” design aligns with ACOS’s sustainable long-term master plan and is high on the District’s priorities, funded through the 2020 debt authorization. It aligns directly with the overall mission and vision of the ACOS’s Master Plan/County Bicycle/Pedestrian Master Plan in a number of ways: 1) The Renovation Project seeks to increase the aesthetic, and recreational areas in the vicinity of watersheds in the SEMSWA drainage floodplain that it sits adjacent to, 2) The goal of preserving and restoring recreational amenities in the park speaks to the purpose of the program in improving neighborhood parks and open space, picnic facilities, as the park will include new and re-designed ADA playgrounds, improved gazebo, outdoor sports facilities, fields and open space improvements. 3) This plan will serve adults and youth now and in the future, by maintaining needed recreational resources, especially bike/pedestrian trailhead connection to the planned Centennial Link Trail which connects to Cherry Creek State Park. 4) The plan continues cooperative partnership work amongst the County, District, and other partners listed in this application, (contractors, associations, sports-teams) to leverage concerted effort and funds, therefore realizing the three-dollar benefit to each dollar invested by tax payers. *Quote Ref. ACOS Master Plan.

Question 3*

Describe how this project addresses specific objectives in the Arapahoe County Open Space Resolution #030381/#110637. The resolution is available on the Open Space website.

This project fulfills on the voter-approved measure to approve a .25% Open Space sales and use tax, authorized initially by the Arapahoe County Board of County Commissioners (BOCC) in resolution 030381 in 2003, re-authorized in 2011 by the BOCC, and passed by voters again—specifically in fulfilling on the Arapahoe County Open Spaces’ (ACOS) creation and designation to appoint an Open Space and Trails Advisory Board (OSTAB) to oversee the granting of 12% of those collected taxes to incorporated municipalities and special district within the County. The reauthorization of the ACOS in Resolution 110637 maintained those percentages of grant monies available. The Cherry Creek Vista Park and Recreation District, being one of the special districts within the County that provides recreational services and amenities, is eligible to receive these grant funds, if, as the resolution dictates, it meets the requirements set forth by the OSTAB. Specifically, this standard grant will allow the District to maintain and improve, and restore Peakview Park, as it contains recreational parks/open space amenities (Ref.: Res. 030381, Section VIII (E), Para. 1., Sub-sec. j). Indirectly related are those subsections k-o of that same section VIII (E) that would be the natural

outcome/implementation of planning for the potential improvements, conservation, recreational (park, playground, fields, walking/bike trails, access, tennis, pickle ball, basketball courts) areas at the park.

Certification and Authorized Signature Form*

Please attach completed Certification and Authorized Signature Form as a PDF document. Form must be signed by highest authority in agency or authorized individual. *Required forms are available on the Open Space website.*

Please name your file as follows: *Applicant_SignatureForm.pdf*

Cherry Creek Vista Park and Recreation District Peakview Proj_SignatureForm.pdf

Project Timeline

Project Timeline Form*

Please attach completed Project Timeline Form as a PDF document. *Required forms are available on the Open Space website.*

Please name your file as follows: *Applicant_TimelineForm.pdf*

Cherry Creek Vista Park and Recreation District Peakview Proj_TimelineForm.pdf

Project Budget

Budget Narrative*

Provide a clear and concise budget narrative. Include details about expenses in each budget category, justification for any unusual line items, and an explanation of how you arrived at these estimates. Include amount and sources of matching funds.

Detailed Expense:

"Professional Services:" construction oversight, coordination, progress/final inspections/surveying. Covered by grantee match & partner cash-match. Based on estimates by consultants/ recent project actual costs and park square footage/project size.

"Ground Work:" Site preparation for playground, baseball infield/amenities install, curbing, drainage, basketball, pickle-ball, tennis court border, improvements/repairs and general contractor costs. Split amongst grant/grantee cash match. Based on estimates by owner rep./from recent project actual costs and current construction market conditions.

"Site Amenities Repair/Additions:" New/repair work for tennis court resurface/windscreens, curbing/ADA ramp at old/new playgrounds, asphalt. Split amongst grant/grantee cash match. Estimates by owner reps./from recent project actual costs.

"Landscaping", "Site Furnishings," "Playground:" New/repared amenities and install. Grant funded/ partner cash match from Circuit Rider.

"Signage" and "Community Outreach:" Signage throughout park and outreach to full community via mail/ other media to publicize ACOS grant programs and award, with cash match dedicated by Circuit Rider and Centennial Youth Baseball for signage design and baseball amenities, respectively. Based on recent project actual costs.

Summary Expense: 25% match amount requirement exceeded.

In-kind match amounts of \$4,000 not shown in budget worksheet included in partner support letters.

Note: Detailed baseball and playground estimates in attachments.

Budget Forms*

Please attach completed Summary Budget Form and Detailed Expense Budget Form as a single PDF document. *Required forms are available on the Open Space website.*

Please name your file as follows: *Applicant_BudgetForms.pdf*

Cherry Creek Vista Park and Recreation District Peakview Proj_BudgetForms.pdf

Project Narrative

Question 1*

Describe the project goals, scope, expected results, and deliverables. Describe project elements, including useful life. Discuss the current condition of the project site and what improvements are proposed. Discuss how this project improves access to the outdoors, connectivity, and/or educational opportunities.

The result of the planning process provided a holistic strategic plan for the renovations at Peakview Park, one that envisions "a neighborhood park with regional feel, due to its expansive views, skyline, topography, and connection to greater State Park trail system. It will be a place for active organized or recreational fun, a quiet destination, and a trailhead for sports teams and leagues, neighbors, families, and adventurers."

The Cherry Creek Vista Park and Recreation District has made the improvement of this park its top priority, as it recognizes the potential for increased high-value amenities and access at the largest park within the district's park network, which is a key strategy to meet the District's mission of providing recreation opportunities to suit and engage all District residents' needs.

The main goal and deliverables of the park improvement will be: to construct an ADA accessible, safe, sustainable, aesthetic, and useful park, featuring safety and accessibility updates, community outreach, conservation and recreation goals, including: [1] two shade-covered distinct age-group ADA accessible playgrounds (one new and one with safety updates/ADA ramp and safety surfacing, ADA access and new equipment); [2] new pickle-ball court; [3] resurfacing two tennis courts and expanding the rock-border protection (to avoid irrigation water damages to the concrete); [4] additional picnic tables/benches/trash amenities distributed throughout the park; [5] new dirt "skinned" baseball infield with repaired and increased backstop and player benches for increased use by regional baseball and softball leagues [6] repaired gazebo and relined basketball and repaired/relined parking lot; [7] additional/replaced informational signage throughout the park; [8] additional trees and water-wise landscaping/mulching in passive areas to increase aesthetic appeal, shade and reduce water use, and; [9] community outreach during all phases of the project to increase awareness and use of the park in the community. These amenities will last many years under the current management maintenance plan, with many of the fixed assets lasting upwards of 20 years, many being permanent improvements.

The key deliverable [9] listed above is community outreach to promote the grant program and the specific project, including schedule for construction, celebration and acknowledgement, and ongoing expanded use. As this is a construction project with recreational elements, the goal of signage will be to educate the public to be good stewards and safe users of the park. Signs at park entrances will detail safety, use, and maintenance information facts, as well as funding partner acknowledgments.

The current condition of the park is acceptable, aged but sometime marginal. The park has great potential, but there is a need to address safety issues/current code/ADA standards and major renovations to achieve this potential.

Three access points, by way of a public parking lot and public walking paths from the East and Southeast, are available and will be maintained with the new site plan, as well as allowing for integrated access in collaboration with the developer to the South of the park.

Please reference the photo attachments and park plan in attachment 5 to view the challenges, planning efforts, and positive features as described above. Please refer to the site map for orientation and overlay of the plan. The plan is ready for build-out, with the first step being to complete the contractor with the selected the construction bidder, assign permits, and meet with contractors prior to groundbreaking in order to finalize strategy, go over plans, and mark utility locates. Demolition and site preparation of current facilities will follow, while the District Manager will concurrently communicate to District residents, Arapahoe County, local media outlets hubs, and order signage. Sod will be removed during site preparation stages, followed by grading, soil import, foundation preparation, and installation/resurfacing of the courts, curbing and ramps for the playgrounds, and parking lot/basketball court repair/repainting. Last construction steps will be to install new dirt infield, backstop fencing, signage, playground equipment, benches, trash cans, landscape materials and trees, rock/wood mulch edging, and to complete the park dedication signage and event.

Ongoing oversight of the completed design specs will be provided by Root Partnership, Proof Engineers, JBK Landscape Inc., and Circuit Rider of Colorado, with permissions by Arapahoe County and guidance by SEMSWA during the site prep and installation to comply with GESC requirements.

These capital improvements will be maintained annually, under current costs already budgeted, with little increase. The expected life for features are as follows: approximately 20-30 years for playgrounds, and 10 years for playground safety surfacing, 20-30 years for the basketball court, pickle-ball court, tennis courts, more than 50 years for baseball field (with maintenance every 3-5 year), and at least 10 years for the trees, landscape materials, trash cans, benches, picnic tables, and signage.

Root Partnership and Proof Engineers will oversee the build-out construction process, and long-term maintenance practices will be employed by JBK Landscape Inc., and District management, to ensure the vision of the plan. Each contractor has been chosen based on proven experience as a partner in the District's park development plan, as well as a willingness to participate in this collaboration and dedicate in-kind services toward the success of the construction project. Key costs, supplies, deliverables and milestones in the process have all been addressed in the budget and timeline and permit submittal completed in March 2021 to the County/SEMSWA, prior to this grant application.

Question 2*

Describe the community/neighborhood and user groups the project will serve. Discuss the type of users (children, families, seniors, sports leagues, etc.), and estimate the number of users that will benefit annually. How did you arrive at this estimate?

Include up to five community support letters in the Attachments section.

The District's 3,500+ residents have access to the park, as well as a large amount of non-resident users, especially organized sports teams and leagues, as well as people who travel the pathways or use the park during their break times. During COVID-19 in 2020, the park saw an enormous amount of use by both these user groups. One-third of the District's residents are nearest to Peakview Park and many neighbors use the park on a daily basis. Yearly users certainly exceed the number of residents in the community with these counts of participants detailed further below, which includes user source estimates.

For example, the largest Homeowners Association within the District's boundaries, Cherry Creek Vista South HOA, uses the park for its annual community events such as its Easter egg hunt, Halloween parade, and food truck rallies throughout the year. Daily, weekly and seasonal users within the District and from regional sports leagues and teams include: children and families who use the playground and playing fields, basketball players, tennis players (the district has over 17 adult home-teams participating in the USTA programs as well as a summer youth tennis program), baseball league practices and games throughout the summer months (5-7 days per week for up to 5 months), soccer league practices and games throughout the Spring and Fall

seasons (5-7 days per week for 6 months per year), walkers/joggers (many with strollers), and bikers accessing the Cottonwood Creek trail system from points West, including people with seen and unseen disabilities, in all categories.

The new site plan will increase use, especially in the groups of baseball leagues, with an great known need from at least 3 regional baseball and softball teams who all vie for a single dirt infield at the District's Lakeview Park, and will be able to rent the proposed dirt baseball infield at Peakview Park with much less schedule overlap. Currently, organized field users and casual daily neighborhood patrons would benefit spreading out this premium use-type across two parks (Lakeview Park is currently the only dirt field available and is booked beyond capacity with wait-lists and users wishing to book months to a year in advance of use, book by lottery, which leads to frustration by all users). One league, the largest renter Centennial Youth Baseball (CYBB), has one team practice on a nightly basis during the Spring and Summer months. CYBB, whose league manager, Chris Baerns, participated in the provided an estimate of their users to the field at about 750-800 for this Spring of 2021 and 300-350 for the Fall 2021. He would estimate with growth of the team and additional field availability that number would rise to at least 900 players in the Spring of 2022 and 400 players in the fall of 2022. Chris noted that over 60% of the team members reside in unincorporated Arapahoe County, and nearby communities of Centennial and Greenwood Village. The remainder are represented from areas such are Parker, and Aurora, Highlands Ranch etc.

Soccer teams such as Storm Soccer and Skyline Soccer utilize the large soccer field for practices and games during the Spring and Fall and will maintain these same levels of use in the future. Storm Soccer has a team of 30 older young women who utilize this field as their home field, and Skyline Soccer has about 75 players at Peakview Park during their seasons, of which 45 are Centennial/unincorporated Arapahoe County residents.

The new site plan will also expand use for the sport of pickle-ball, which is growing in popularity as it provides fun active team play for many age and ability groups as well as for tennis players with better maintained courts that will be kept up better with rock edging that protects the court surfacing from cracking. USTA League play rotates between all the courts within the district--and Peakview Park's courts host at least 20 hours of matches (doubles and singles on a weekly basis), with many more practices and recreational users during any month of the year when the courts are clear of snow.

All users will benefit from a repaired parking lot and new water-efficient plant bed installations for accessibility and aesthetic enjoyment. A new port-o-let screen will also increase use, beauty and access.

The District has a reservation calendar to record permits assigned for gazebos. New picnic amenities and repair of the gazebo for ADA access, will increasing use for family and neighborhood get-togethers, such as children's birthday parties, scout meetings, work events and picnics.

During the park planning process, the District also discussed a seamless access point to the park via the land development to the South of the park so all those occupants can access the park during their work week, and the parking lot may be used during the weekends and non-business hours for walkers, bikers, and runners to access the trail system and park.

Question 3*

Discuss the need and urgency for this project. Was the project prioritized in a master plan or other planning document? Is this part of a multiphased project? What opportunities will be lost if this project is not funded now?

There are three critical conditions that show the great need and urgency in funding the construction project, as illuminated in the photo attachments and letters provided:

1) The existing conditions and usage of the park are neither safe nor congruous with the desired uses (as expressed by the community and users during the planning process). Family use or recreational use is not up to safety and ADA standard for young children because of the current conditions at the playground and

gazebo; tennis court surfacing is deteriorated and concrete is in danger of damaging the underlay-concrete at the courts because of inadequate protective edging away from irrigation; a baseball backstop that does not attract team play because of the lack of a dirt infield, and team really want and need to use this field because of high demand; additional potential spaces where the new playground and pickle-ball courts are not fully utilized while still allowing for many passive ways to engage with the park facility; more benches, picnic tables and ADA amenities are lacking and are not dispersed around the park as well as they could be, especially near to the parking lot. Further, the attention raised during the planning process as to current safety lapses, if unaddressed, could result in either decreased access to current users or increased cost if someone is hurt, especially at the gazebo and playground.

2) Funds of \$166,078 have been earmarked by the Board for the project construction, as time is of the essence to spend on the debt service dollars that were issues in 2020 (there is a 3-year window in which the District must spend the majority of this fund per the terms of the debt on public improvement projects). It would be a shame to have to return these dollars to the loan provider. Additionally, as the District must pay for maintenance costs, regardless of if the improvements are completed or not, it would be a shame to not have these needed amenities to allow for the facility to be used to its greatest potential, especially with the new playground, safer and more accessible repairs planning for the exiting playground/tennis courts, and large amounts of use anticipated for the baseball dirt infield and pickle-ball courts.

3) The major players and plans are aligned and ready to commence the construction process, including partner in-kind and cash-match amounts. The risk of stalling out, asking for partners to phase the construction, or needing to re-ask for support on a project that already has garnered the support from so many stakeholders and champions, puts the success of completing the planned project at risk. There is community awareness, and excitement for these additional resources, especially for: new shaded, ADA playground, pickle-ball, repaired tennis courts, dirt infield, new site furnishings and more water-wise passive landscaping, plus pathway access from the East and access to the future development from the South will attract more neighborhood and non-district users. If the project were not funded with the help of these grant dollars the project would need to be completed in phases, with future funds, which may be less likely given that the community just approved a large debt amount. Asking for more money so soon is often unsuccessful. The other challenge would be to decide which improvements would be provided first: access/ADA upgrades to the playground/tennis court/park first, or fix the features that are unusable only to not fully utilize the potential for new amenities? These phases are not impossible, but not ideal, and would increase overall project costs as well as costs the district significantly, as it would require multiple bid processes and years of project implementation.

Question 4*

Summarize any planning completed prior to submitting this grant proposal. Is design and engineering complete? Does the project necessitate a zoning change? List any permits or approvals that need to be obtained (county or city planning, stormwater, federal 404 permit, etc.) and their status.

If applicable, include eligible planning costs in the match section of the Detailed Expense Budget Form (costs must be incurred within 90 days of application submission and pre-approved by grants program staff) and include proof of any such expense in the Attachments section.

A full 6-month intensive planning process had been completed with the help of an ACOS planning grant from September 2020-early 2021. This collaborative planning effort involved the participation of homeowners association's representatives (Cherry Creek Vista South HOA), active users, sports-league/team and association leadership (park renters, tennis league pros/coaches, soccer teams, baseball league, maintenance providers), board members, at-large community members, and planning professionals and consultants, as well as input from County and SEMSWA planning administrators. Multiple virtual and on-site meetings were held with these stakeholders and design professionals (Root Partnership for landscape design and site plan drawings; Proof Civil Engineers for GESC, drainage and site plan and surveying; Recreation Plus for playground safety design and site amenities; Renner Tennis for tennis court and pickle-ball court design and renovations; Homefield Athletics for baseball field design, JBK Landscape Inc for landscape design and long-range maintenance estimates and planning, and other contractor for maintenance and repair cost estimates), with many venues for individual input that guided the final master plan and site plan. All

recommendations were presented at five public board meetings and were approved with meaningful input from the Board members and community members throughout.

To date, the planning process has been discussed widely, and has had no objections, formal or informal (therefore none is included in the attachments section). All parties who were requested to participate, provide letters of support or in-kind donations have gladly accepted those requests and invitations, and are excited to have been involved in the planning and ongoing work on the project.

The full site plan and engineering work is completed and has been submitted to Arapahoe County (following involved formal and information pre-application meetings) for all required permits (drainage letter, grading erosion and sediment control (GESCC) report, stormwater improvement). Permit issuance is anticipated shortly by Arapahoe County, Tri-County Health Department and Southeast Metro Stormwater Authority.

The project does not necessitate a zoning change as the land is currently utilized as a public park and will continue to be utilized as such.

Circuit Rider of Colorado also collaborated with Perlmutter & Associates, the current owner of the Lincoln Executive Development parcel South of the park, in negotiating possibilities for easement allowances and access to the park for the development's planned future commercial occupants, as well as potential trailhead and parking access to park and connection point via Cottonwood Creek to the Cherry Creek State park trail system.

Question 5*

Describe how the project will be completed within the required two year timeframe. Discuss the agency's capacity to complete the project, including project management, resources, and experience implementing similar projects.

As listed in the project timeline, the permitting issuance and bidding process will be complete with a contractor ready to perform the work detailed in the site plan, as attached within the additional attachments, if the grant is awarded (note that bidders will be aware that the project is contingent upon funding and may not begin work if and until funds are secured). The engineers, design and oversight team are ready and assembled, along with bids for the specialized contractors for the tennis courts, pickle-ball courts, and baseball infield, and there is a year-long contingency window of time to complete the project, should another challenging COVID-19 shutdown or slowdown occur, should delays for weather, contractor availability and other possible challenges arise, which will give ample time to address these potential delays. These contingencies for inclement weather would push either or both the site preparation and installation to the Fall of 2022, which would still allow for the park construction completion to occur by Spring of 2023 at the latest, still months in advance of the 2-year schedule limit.

Therefore, construction will be planned to begin immediately upon the grant award notification/IGA completion with ACOS and execution of the construction contract.

Oversight of the construction contractor, including the selection process, is planned to be overseen by Circuit Rider of Colorado the District's management team, as well as Proof Civil Engineers, Root Partnership Landscape Architects, Recreation Plus Playground designers/installers, Renner Sports Tennis Construction. This team was also involved during the full term of the planning process and thus knows the project scope very well.

The project timeline gives appropriate consideration for a site-visit and work-plan progress/review by multiple parties including, JBK Landscape, Proof Civil, Root Partnership and others, as well as SEMSWA and County inspectors, utility locates, across the first month of the construction process.

There is adequate time for needed new/repair parts and materials (especially related to the pickle-ball/tennis courts, baseball field, playground and other park amenities, and plant/landscape materials) to be

ordered in the Fall of 2021 in time for delivery and installation by the time the site preparations are completed in the Summer of 2022.

Simultaneously, with the contract and construction process and timeline, Circuit Rider of Colorado will coordinate with contractors to design and install signage, perform maintenance work for small cracks/repainting of the gazebo etc., and will oversee community outreach/dedication scheduling, as well as due diligence matters with the Board and community.

The public park dedication and final report are planned for the end of the Summer/beginning of Fall 2022, well within the two-year window for completion.

Question 6*

Summarize any efforts to obtain public input, disseminate information to the public, develop partnerships, and garner community support for this project. Evidence of a transparent public process will be required. List the stakeholders that are involved. Discuss any known or anticipated opposition to this project and how this will be addressed.

If applicable, include letters, petitions, or other documents evidencing opposition in the Attachments section.

With the immense help of the 2020 Planning Grant awarded by Arapahoe County Open Space, the District was able to inform the public and receive feedback from District residents, as well as a formalized planning committee during a 6-month Master Planning and Site Planning project. The results of the project are included in the Additional Attachments section of this application. Three specific Planning Committee Meetings were held (attended by user group leadership, HOA, resident, and Board member representatives and planning contractors and experts. One formal site visit, with multiple additional informal site visits occurred with the same groups. Four formal Board meetings were held where the Planning Committee made their recommendations to the Board regarding overall concepts as well as specific detail on the plans. Postcard notices, emailed notifications, website notices, park signage (at Peakview Park and all other District Parks) were utilized to share about the planning project process and outcomes.

The engineers and park design team engaged with Arapahoe County and SEMSWA in formal and informal planning, pre-application and application meetings and ongoing communications to ensure the plans fit into zoning rules, water quality requirements and use guidelines. A formal letter was provided to all homes adjacent to the park, in anticipation of possible opposition to the additional playground, baseball field, and pickle-ball courts bringing more concentrated active uses to the park--no opposition comments have been received on these specific items or otherwise, to date.

The adopted and approved Holistic Vision, and detailed site plans, meeting attendees, and example communications are included in the additional attachments packet.

The other strong support for this and other park improvement projects was via the 2020 May election which approved a large bond to fund matching dollars for park improvements to Peakview Park, alongside other maintenance and repair items, including a renovated community pool facility. The approval for the bond mill levy was very strong, even with the challenges of the shut-down due to COVID-19 in the Spring of 2020. An additional general operating mill levy increase that passed at the District's May 2014 election, which provides additional dollars for the Board to dedicate to matching funds for improvement projects such as this.

The community and project partner support letters confirm this support by residents, park users, partners and community organizations nearest to the park. Each open public meeting, including the specific meetings to plan or review progress during the planning grant process, included input and participation from the listed planning and maintenance partners. All partners that were requested to provide letters of support or in-kind donations have gladly accepted those requests and invitations, and are excited to be working on such a collaborative project.

The public hearing held in October 2020 approved the 2021 Budget, which included a line-item for this grant's budgeted matching funds. The planning process was completed in accordance with the 2020 planning grant. The planning process also incorporated input from the 2018 online long-range strategic planning community survey, which was made available to all District residents, as well as many discreet phone and email communications to the District's management office and reported out at committee and regular board meetings.

Question 7*

How much of your planned cash match is secured? If applicable, what are your plans for securing additional funds? Describe cash and in-kind match partnerships established for this project.

Include partner support letters in the Attachments section and include cash match from partners on the Budget Forms. Grant recipients are responsible for project cost overruns.

100% of the cash match is secured, as presented in the budget attachment. Please also reference the attached District Resolution and District's President letter of support, in addition to the Centennial Youth Baseball Letter of Support, and Circuit Rider of Colorado Letter of Support which combine for the \$168,342 match total. Since the cash match is secured in total, there is no need for plans to secure additional funds. If further funds are required, the District will provide those dollars over and above the funding provided by the grant and the current match amounts. The District has dedicated \$166,078 of matching funds for the renovation construction project in its ratified 2021 budget. Circuit Rider of Colorado has dedicated \$1,064 in matching dollars for community outreach costs and playground installation, and Centennial Youth Baseball has dedicated \$1,200 in matching dollars for baseball benches and signage. Lead planning partners, Root Partners, Recreation Plus, Proof Civil Engineers, and Circuit Rider of Colorado have promised \$1,000 each in-kind matching dollars for their professional services in construction oversight for landscape and site plan architectural design; playground installation; construction engineer oversight; community communication, respectively.

Question 8*

Describe any scenic, historic, or cultural values associated with the project site. Will they be preserved or restored? Discuss specific natural resources at the site (habitat, water, wildlife, vegetation, etc.) and impacts to these resources as a result of this project. If applicable, discuss environmental sustainability benefits of this project (such as energy or water conservation, water quality improvement, etc.).

There are number of natural, cultural and economic values associated with the park:

[1] Many trees of high-value (legacy trees) exist in the park and will be preserved within the plan. 6 trees will be added to the pathway for shade coverage and will be added to the District's full tree inventory and long-range replacement plan by species and location priority. Specifically, detail and mapping are performed for trees that should be protected at all cost, as well as trees that may be affected by common or anticipated pests or diseases, such as emerald ash borer.

[2] On the East side of the park is a natural drainage that is being given attention to improve stormwater quality, as described in Proof Civil Engineer's Drainage and Grading, Erosion and Sediment Control (GESC) reports and plans included in the additional attachments.

[3] A long-term cultural value that the plan preserves is the open feel of this large park, with expansive sky views, despite the many active and passive amenities available at the top and bottom of its hills, including sledding hill, walking access, and public access to the Prairie Vista Park, planned Centennial Link trail and Cherry Creek State Park via the trail on the Southeast of the park.

[4] Vegetation species at the park are man-made/imported turf, deciduous and evergreen trees and some native and non-native shrubs and perennial flowers. Resident animals include: field mice, insects, bird and

predator species that were once native and flourished. These populations will not be affected, as the park is already established as high-used area by humans and dogs.

[5] The reduction in sod in appropriate spaces, including the baseball infield, pickleball court and additional playground, alongside increased wood/rock mulch and water-wise plant material will decrease high water demands of turf in areas of inactive use, as shown on the plans (note mulch areas around walking paths and tree borders in the site plan). In the future, if and when funding permits, the irrigation system will be upgraded to reduce use as well.

Question 9*

Discuss ownership and legal access at the proposed project site. Detail any third-party rights, easements, or other encumbrances that exist.

Provide supporting documentation showing ownership, legal access, and/or permission from landowner in the Attachments section.

The District owns the park, as shown in attachment 9, and can access the park by way of its own parking lot from a public roadway.

Construction staging will occur on the District's property, in the lot and on the existing sidewalks, in accordance with the grading, erosion and sediment control assessment provided by Proof Civil engineers in the site plan submittal. There exist no third-party rights, easements, or encumbrances that might impede access or construction with the planned scope as a recreational facility/park. Arapahoe County Public Works, and Southeast Metro Stormwater Authority have provided pre-submittal comments and ongoing communication with regard to the due diligence site planning permit process. All permit fees have been paid and approved site plans are anticipated in early June 2021.

Question 10*

Describe long-term plans for maintaining the project. Who will be responsible for maintenance? Estimate annual costs to maintain the project site, and explain how maintaining the site will affect your agency's budget.

The District is well equipped to: [1] complete a this project that has adequately been planned, as proven by the accompanying planning documents that have been submitted to the County Planning offices and SEMSWA for approval, along with the prepared bid packet, the District's past record of successfully completed grant-funded parks and projects, including the Peakview Park Planning Grant, Lakeview Park Fields Project Grant, Cherry Creek Vista II Planning and Project Grants, Windemere Park Site Planning and Project Grants, the Cottonwood Creek Planning and Projects Grants, the Sunset Park and Orchard Park Project Grants; and, [2] include the increased recreational activities and improved facilities within its current maintenance operations and budget as proposed in the presented site plan.

The park is currently insured, monitored and fully maintained by the District's maintenance contractors, especially the ongoing landscape maintenance by JBK Landscape Inc. The maintenance currently provided includes all park regular maintenance, such as playground, field, court and irrigation oversight, mowing, leaf removal, trash collection, snowplowing and all other regular services. Current maintenance work will not alter in cost or scope after the construction of the re-designed park. The new reservation system for the district will allow for ongoing reservations of the fields, courts and gazebo for all uses, including USTA Tennis, parties, baseball, soccer and other organized programs.

The addition of the pickle ball courts and baseball infield will be the only amenities to increase annual maintenance, which are planned to be funded by the field user fees for such uses, plus general maintenance. Pickle ball maintenance will equal tennis court maintenance costs, including windscreen rollup/down in the Fall and Spring, and leaf blowing/pressure washing, which amounts to about \$1,000 on an annual basis. Court nets will be replaced when needed, about every 3-5 years at \$200 per net, funded through current general operating funds. The baseball infield will be regraded about every 3-5 year, at a costs of approximately \$1,000-\$2,500, depending upon condition and need. These costs will be funded through increased field rentals to local baseball youth league teams of around \$3,000 per year at current hourly rates.

With two strong community supported revenues: (a) the May 2020 election that authorized essential funding for capital facilities improvements through this highly supported debt service question, and (b) the mill levy increase passed in 2014, the District will have more than adequate funds for the long-term maintenance of the current and improved park at the current contract rates.

Question 11*

Describe how this project will address inclusivity per Americans with Disabilities Act guidelines.

The site plan focuses on increasing access and adding ADA features to the current park resources, as well as installing new features that can attend to current best-practices, not only bringing the park up to standard but eclipsing other parks within the District.

ADA ramp, fibar safety-surfacing, and updated ADA-accessible equipment will be added to the current playground, and the new playground will divide the age-group use and add a full new ADA playground, per current best-practices. Repaired parking lot and repaired concrete on selected sidewalks and at the gazebo will with ADA travel all the way to/from the playground. New wheelchair-accessible picnic and park benches and additional benches and tables throughout the park, especially nearer to the parking lot, will encourage access and enjoyment of more of the park amenities.

Another highly desired new amenity is the addition of the pickle ball court, which is a popular game that many age groups enjoy, but is especially favored by people with mobility limitations. The community planning committee was highly supportive of the addition of pickle ball, as well as the ADA playground and park amenities.

Question 12*

If successful in obtaining this grant, how will the agency use this project to inform citizens about the value of the Arapahoe County Open Space Sales and Use Tax? Discuss plans for public outreach, signage, celebration, dedication, etc.

The District has written into the Plan and Budget multiple methods of community outreach and input:

[1] The District's website and new CivicRec registration and email list software: ccvprd.org, is a well-used communication platform that residents are familiar with. A notice on the homepage will announce the grant application and success, if awarded, notices of meetings, bids and contract acceptance, project construction timeline, milestones and completion, as well as links to online printable copies of the grant and feedback methods so people can voice their input and participate during construction. The website will also announce the project overview and credit Arapahoe County Open Space and partners in the project, with updates as the project is completed and the dedication event schedule.

[2] Park kiosks will display similar printed announcements, scope of the grant, and credit to the Arapahoe County Open Space program.

[3] There will be notices sent to each household to: (a) obtain feedback and concerns during construction, and (c) to invite participation in any completion celebration or meeting. The public outreach plan is included in budget which includes: cost to design and mail online media and printed postcard notices to each household in the District. The District Manager, Circuit Rider of Colorado, will oversee the public input process and meetings that will introduce the grant process and funding through the ACOS sales and use tax before, during and after the construction is completed.

[4] A celebration will be announced in a final press release and by way of the postcard notice and online/news communication media that invites the community to: (a) visit the park once the Arapahoe County Open Space plaque and signage is installed at the park location. This final celebration will be weather-dependent in the Summer/Fall of 2022, depending upon COVID conditions for public gatherings.

Attachments

Attachment 1: Evidence of Support from Highest Authority*

Please attach evidence of support from the agency's highest authority (official letter or resolution) as a PDF document. At a minimum, this document must include: project title, amount of grant funds requested, statement that matching funds are secured and/or efforts to secure funds are underway (include the amount of matching funds committed), and certification that the project will be open to the public or serve a public purpose upon completion. *A sample resolution is available on the Open Space website.*

Please name your file as follows: *Applicant_SupportHighestAuthority.pdf*

Cherry Creek Vista Park and Recreation District Peakview Proj_SupportHighestAuthority.pdf

Attachment 2: Evidence of Community Support*

Please attach up to 5 letters of support from users, working groups, community members, volunteers, schools, etc. as a single PDF document. Letters should be specific to the project and dated within the last 6 months.

Please name your file as follows: *Applicant_CommunitySupport.pdf*

Cherry Creek Vista Park and Recreation District Peakview Proj_CommunitySupport.pdf

Attachment 3: Documentation of Opposition*

Please attach documentation of opposition to the project (such as letters, petitions, articles, etc.) as a single PDF document. If there is no known opposition, please attach a page stating that this section is not applicable.

Please name your file as follows: *Applicant_Opposition.pdf*

Cherry Creek Vista Park and Recreation District Peakview Proj_Opposition.pdf

Attachment 4: Evidence of Commitment from Project Partners*

Please attach evidence of commitment from project partners (such as partner support letters, commitment to provide cash/in-kind match, or maintenance agreements) as a single PDF document. There is no maximum allowable number of partner support letters. If there are no partners for this project, please attach a page stating that this section is not applicable.

Please name your file as follows: *Applicant_PartnerCommitments.pdf*

Cherry Creek Vista Park and Recreation District Peakview Proj_PartnerCommitments.pdf

Attachment 5: Primary Project Photo*

Please attach one high resolution photo in JPG format. Please choose the photo that provides the best overall representation of your project. This photo will be used for presentations and/or publications.

Please name your file as follows: *Applicant_PrimaryPhoto.jpg*

Cherry Creek Vista Park and Recreation District Peakview Proj_PrimaryPhoto.jpg

Attachment 6: Photos*

Please attach photos of existing conditions at the project site (including captions) as a single PDF document. Include conceptual drawings if applicable.

Please name your file as follows: *Applicant_Photos.pdf*

Cherry Creek Vista Park and Recreation District Peakview Proj_Photos.pdf

Attachment 7: Maps*

Please attach a site map and a vicinity map as a single PDF document.

Please name your file as follows: *Applicant_Maps.pdf*

Cherry Creek Vista Park and Recreation District Peakview Proj_Maps.pdf

Attachment 8: Site Visit Form*

Please attach a completed site visit form as a PDF document. *Required forms are available on the Open Space website.*

Please name your file as follows: *Applicant_SiteVisitForm.pdf*

Cherry Creek Vista Park and Recreation District Peakview Proj_SiteVisitForm.pdf

Attachment 9: Evidence of Property Ownership/Access*

Please attach evidence of property ownership/legal access (legal documentation, ArapaMAP, etc.) as a PDF document.

Please name your file as follows: *Applicant_EvidenceofOwnership.pdf*

Cherry Creek Vista Park and Recreation District Peakview Proj_EvidenceofOwnership.pdf

Attachment 10: Other Attachments

Please attach additional supporting documentation (news articles, cost estimates, etc.) as a single PDF document.

Please name your file as follows: *Applicant_OtherAttachments.pdf*

Cherry Creek Vista Park and Recreation District Peakview Proj_OtherAttachments.pdf

Confirmation

Please click the "I Agree" button below to certify that your application is complete and ready to submit. Once submitted, applications are final and cannot be returned.*

I agree

File Attachment Summary

Applicant File Uploads

- Cherry Creek Vista Park and Recreation District Peakview Proj_SignatureForm.pdf
- Cherry Creek Vista Park and Recreation District Peakview Proj_TimelineForm.pdf
- Cherry Creek Vista Park and Recreation District Peakview Proj_BudgetForms.pdf
- Cherry Creek Vista Park and Recreation District Peakview Proj_SupportHighestAuthority.pdf
- Cherry Creek Vista Park and Recreation District Peakview Proj_CommunitySupport.pdf
- Cherry Creek Vista Park and Recreation District Peakview Proj_Opposition.pdf
- Cherry Creek Vista Park and Recreation District Peakview Proj_PartnerCommitments.pdf
- Cherry Creek Vista Park and Recreation District Peakview Proj_PrimaryPhoto.jpg
- Cherry Creek Vista Park and Recreation District Peakview Proj_Photos.pdf
- Cherry Creek Vista Park and Recreation District Peakview Proj_Maps.pdf
- Cherry Creek Vista Park and Recreation District Peakview Proj_SiteVisitForm.pdf
- Cherry Creek Vista Park and Recreation District Peakview Proj_EvidenceofOwnership.pdf
- Cherry Creek Vista Park and Recreation District Peakview Proj_OtherAttachments.pdf



Certification and Authorized Signature Form

Please use this form for the 2021 Arapahoe County Open Spaces grant application.

By signing this form, I certify that:

- The information included in this application is true to the best of my knowledge.
- If funded, the applicant commits to completing the proposed project.
- If funded, the applicant accepts responsibility for any cost overruns necessary to complete the project.
- If funded, the completed project will be open to the public or will otherwise serve a public purpose.
- If funded, the applicant agrees to maintain the completed project site or to continue its maintenance agreement with a partner agency as outlined in the application.
- I am authorized to sign on behalf of the applicant.

Authorized Signature (highest authority in agency or authorized individual)

April 1, 2021
Date

Sarah Shepherd, District Manager

Printed Name and Title

Peakview Park Renovation Project

Grant Project or Joint Project Name



2021 Open Space Grants - Project Timeline Form

Task	Aug 2021	Sep 2021	Oct 2021	Nov 2021	Dec 2021	Jan 2022	Feb 2022	Mar 2022	Apr 2022	May 2022	June 2022	July 2022	Aug 2022	Sept 2022
Grant Notification & IGA Execution	08/01													
Postcard Release and Website Notification Recognizing County (ACOS) grantor of Citizen's Tax as Funding Source	08/31													
Contractor Selection and Contract Execution Complete per bid process and approved plan set from SEMSWA/Arapahoe County, Amenity Ordering (General Contractor for oversight, site prep, asphalt landscaping; Playground/Site Amenities Contractor; Tennis/Pickleball; Baseball Infield)		09/31-10/21												
Construction Begins (weather permitting); parking lot, baseball dirt infield and dugout expansion, pickleball court, tennis court resurfacing, new and replacement playground, re-striping/sealing parking lot, basketball court, installation of mulch plant materials/trees, signage, benches/picnic tables/trash cans			10/21-5/30											
Progress Report #1 to ACOS						1/31								
Substantial Completion/Punchlist Walkthrough											6/30			
Final Acceptance Walkthrough and Progress Report #2 to ACOS												7/31		
Final Report to County (ACOS)														9/30
Website Notice, Press Release, and Stewardship/Celebration for County (ACOS) and other contributors and partners (depending on schedule, weather, COVID)														9/30

Summary Budget Form - STANDARD Grants (25% minimum cash match)

Source of Funds	Date Funds Secured	Grant Request	Cash Match	Total Project Funds
Arapahoe County Open Spaces Grant	8/10/21	\$500,000		\$500,000
Applicant Cash Match	3/18/21		\$166,078	\$166,078
Circuit Rider of Colorado	4/1/21		\$1,064	\$1,064
Centennial Youth Baseball	4/13/21		\$1,200	\$1,200
Totals		\$500,000	\$168,342	\$668,342
MATCH REQUIREMENTS		Total Project Cost:	\$668,342.00	
		Cash Match % Required:	25%	
		Required Cash Match Amount	\$167,085.50	
		Project Cash Match Budgeted	\$168,342.00	
		<i>Minimum Met? Y or N</i>		
Applicant: Cherry Creek Vista Park and Recreation District				
Project Title: Peakview Park Renovation Project				
* Please do not include in-kind match on the Budget Forms. Describe in-kind match in the budget narrative and project narrative if applicable.				

DETAILED EXPENSE WORKSHEET

Budget Category	Line Item Detail Description	ACOS Grant	Grantee Cash Match	Partner Cash Match	TOTAL
Professional Services	Engineering	\$4,500.00	\$0.00	\$0.00	\$4,500.00
	Architect	\$6,000.00	\$0.00	\$0.00	\$6,000.00
	Asphalt Engineering	\$1,000.00	\$0.00	\$0.00	\$1,000.00
	Construction Administration Oversight	\$12,000.00	\$0.00	\$0.00	\$12,000.00
	Construction Surveying	\$0.00	\$20,000.00	\$0.00	\$20,000.00
Ground Work	Baseball Field Curbing, Fencing and Infield Installation, Crusher Fines	\$80,000.00	\$10,000.00	\$0.00	\$90,000.00
	Construction Mobilization	\$15,000.00	\$30,000.00	\$0.00	\$45,000.00
	Excavation, Reconditioning, Backfill, Soil Amendment Pickelball and Playgrounds	\$0.00	\$62,000.00	\$0.00	\$62,000.00
	Erosion and Sediment Control	\$0.00	\$31,078.00	\$0.00	\$31,078.00
Site Amenities Repair/Additions	Tennis Court Resurfacing and Amenities	\$21,200.00	\$0.00	\$0.00	\$21,200.00
	Pickleball Court/Fencing Installation	\$45,000.00	\$0.00	\$0.00	\$45,000.00
	Basketball/4-square Court Lining	\$0.00	\$2,000.00	\$0.00	\$2,000.00
	Parking Lot Repair and Relining (Topcoat)	\$45,000.00	\$0.00	\$0.00	\$45,000.00
	Curb and Ramp Installations	\$0.00	\$11,000.00	\$0.00	\$11,000.00
Landscaping	Trees (6)	\$10,000.00	\$0.00	\$0.00	\$10,000.00
	Sod Removal/Rock Mulch Installation Areas	\$41,000.00	\$0.00	\$0.00	\$41,000.00
	Sod Removal/Wood Mulch Installation Areas	\$25,000.00	\$0.00	\$0.00	\$25,000.00
	Plant Materials	\$20,000.00	\$0.00	\$0.00	\$20,000.00
Site Furnishings	Park/Baseball Field Benches (9)	\$8,075.00	\$0.00	\$0.00	\$8,075.00
	Picnic Tables (3)	\$2,945.00	\$0.00	\$0.00	\$2,945.00
	Trash Cans (8)	\$5,080.00	\$0.00	\$0.00	\$5,080.00
	Bollards at entrances (2)	\$1,324.00	\$0.00	\$0.00	\$1,324.00
	Delivery	\$3,260.00	\$0.00	\$0.00	\$3,260.00
	Site Preparation and Installation	\$6,400.00	\$0.00	\$0.00	\$6,400.00
	Gazebo Repair/Painting	\$5,000.00	\$0.00	\$0.00	\$5,000.00
Playground	Equipment 5-12 yr structure	\$57,863.00	\$0.00	\$0.00	\$57,863.00
	Equipment 2-5 yr Structure	\$24,852.00	\$0.00	\$0.00	\$24,852.00
	Fibar Safety Surfacing Both Footprints	\$12,595.00	\$0.00	\$64.00	\$12,659.00
	Delivery	\$4,000.00	\$0.00	\$0.00	\$4,000.00
Signage	Installation	\$26,906.00	\$0.00	\$0.00	\$26,906.00
	Baseball, Tennis, Pickle ball, Entrance Signage Installation	\$11,000.00	\$0.00	\$1,200.00	\$12,200.00
Community Outreach	Neighborhood Communications for Construction and Project	\$5,000.00	\$0.00	\$1,000.00	\$6,000.00
TOTALS		\$500,000.00	\$166,078.00	\$2,264.00	\$668,342.00

Applicant: Cherry Creek Vista Park and Recreation District Project Title: Peakview Park Renovation Project Date: April 16, 2021

RESOLUTION TO ENGAGE IN CONSTRUCTION PROJECT
and (ADA) ACCESSIBLE SITE IMPROVEMENT
AND TO COMMIT TO THE LONG-TERM ONGOING MAINTENANCE
OF THOSE PLANNED-FOR IMPROVEMENTS AFTER PROJECT COMPLETION
FOR THE PEAKVIEW PARK BY THE
CHERRY CREEK VISTA PARK AND RECREATION DISTRICT

WHEREAS, the Board of Directors of the Cherry Creek Vista Park and Recreation District values the access and good condition of parks and recreation amenities to all their District residents and constituents; and

WHEREAS, the Board of Directors of the Cherry Creek Vista Park and Recreation District owns the property contained within Peakview Park in full, and intends to fund the construction of the improvements along with funds to support the ongoing maintenance of the park;

WHEREAS, the Board of Directors of the Cherry Creek Vista Park and Recreation District recognizes the importance of safety in its parks and facilities for visitors and park users;

WHEREAS, the Board of Directors of the Cherry Creek Vista Park and Recreation District is aware of the dangers of long-term deferred-maintenance and improvements in its parks and facilities, including: the omission of features consistent with access for visitors and users with disabilities as defined in the Americans with Disabilities Act, and unusable or compromised conditions for visitors and park users;

WHEREAS, the Board of Directors of the Cherry Creek Vista Park and Recreation District values increasing usable areas and maintaining the aesthetic, recreational and educational value of improved and well-maintained parks and facilities within the District for visitors and park users;

WHEREAS, the Board of Directors of the Cherry Creek Vista Park and Recreation District has completed a full planning process, with significant community input, the help of Arapahoe County Open Space's Grant program, and concluded that a project to improve and repair the park was urgently necessary for the ongoing use and enjoyment by all current and potential passive and active users;

WHEREAS, the Board of Directors has authorized its highest authority to request for assistance in the grant process and qualified contractors have accepted the District's request to serve as partners for this construction project;

WHEREAS, the Board of Directors of the Cherry Creek Vista Park and Recreation understand that new projects and facilities must be contemplated for the long-term with care and maintenance and ensure that funds and resources are available and will be dedicated to such end;

WHEREAS, the Board of Directors of the Cherry Creek Vista Park and Recreation District recognizes that the necessity has arisen for the expenditure of additional funds for construction, repairs and improvements at Peakview Park in order to responsibly allow for the use of the landscaping, fields, tennis courts, amenities, playground, and structures now and in the future;

WHEREAS, the Board of Directors of the Cherry Creek Vista Park and Recreation District has limited resources and funds, and the costs exceed the ability of the District to construct the project unilaterally;

WHEREAS, the Board of Directors of the Cherry Creek Vista Park and Recreation District believe that the construction phase of the project meets the requirements and aligns with the mission and goals set forth in the Arapahoe County Open Space's own Master Plans and Resolutions, and its Parks and Trails 2021 Project Grant Application; and

WHEREAS, the Board of Directors of the Cherry Creek Vista Park and Recreation District has received public support for the project from its constituents and public users, now and through the entire planning process;

NOW, THEREFORE, BE IT RESOLVED that the Board of Directors of the Cherry Creek Vista Park and Recreation District shall, and hereby does, declare that the Peakview Park Renovation Project is in the immediate interest of the health & welfare of, and access to, its visitors;

BE IT FURTHER RESOLVED, that the Board of Directors designates the District's Manager, Sarah Shepherd, or, a Board Member proxy, if the District Manager is unable, for some unforeseeable reason, as the highest authority and signatory of the grant writing, agreement, and administration process for this specific grant;

BE IT FURTHER RESOLVED, that the Board of Directors of the Cherry Creek Vista Park and Recreation District respectfully requests funding of \$500,000 through the Arapahoe County Open Space, Parks and Trails Grants Project Grant cycle for 2021 for a total project cost of \$668,342; and

BE IT FURTHER RESOLVED, that the Board of Directors of the Cherry Creek Vista Park and Recreation District understands and commits to meeting the requirements incumbent in the grant award, including, but not limited to: committing to complete the construction project, stating here that matching funds in the amount of \$166,078 are secured and dedicated to the project, certifying that the project shall be open to public inspection during the construction process, and certifying that the completed project shall serve and be accessible to the public.

Adopted this 18th Day of March, 2021.

CHERRY CREEK VISTA PARK AND
RECREATION DISTRICT

BY: *Stephanie Kamlet*







President

ATTEST: *Dave Mohrhaus*

Secretary

TITLE	Corrected Resolution for Signature ASAP ACOS Grant...
FILE NAME	Corrected Peakvie...lution CCVPRD.pdf
DOCUMENT ID	05130958b9b4f89d09b229362f214e6df145e275
AUDIT TRAIL DATE FORMAT	MM / DD / YYYY
STATUS	● Completed

Document History

 SENT	04 / 21 / 2021 22:23:13 UTC	Sent for signature to Stephanie Kamlet (stephanie@weststarcommercial.com) and Dave Mohrhaus (damohrhaus@gmail.com) from sees@ccrider.us IP: 67.166.110.11
 VIEWED	04 / 21 / 2021 22:24:06 UTC	Viewed by Dave Mohrhaus (damohrhaus@gmail.com) IP: 97.122.184.8
 SIGNED	04 / 21 / 2021 22:24:58 UTC	Signed by Dave Mohrhaus (damohrhaus@gmail.com) IP: 97.122.184.8
 VIEWED	04 / 21 / 2021 22:51:30 UTC	Viewed by Stephanie Kamlet (stephanie@weststarcommercial.com) IP: 75.71.127.5
 SIGNED	04 / 21 / 2021 22:51:47 UTC	Signed by Stephanie Kamlet (stephanie@weststarcommercial.com) IP: 75.71.127.5
 COMPLETED	04 / 21 / 2021 22:51:47 UTC	The document has been completed.

April 14, 2021

Arapahoe County Open Space
6934 S. Street, Suite A
Centennial, CO 80112

RE: Cherry Creek Vista Park and Recreation District 2021 Peakview Park Project Grant

Dear Arapahoe County Open Space,

On behalf of Cherry Creek Vista South HOA, I am pleased to provide a letter of support for the Peakview Park Project, to be included in the project grant application submitted by the Cherry Creek Vista Park and Recreation District.

This grant will help us give a safe place for our neighbors to gather, our kids to play and improve the overall neighborhood.

After the completion of the planning project for the park in 2020, and overall planning in 2018-2020 for the district's future, the board identified this project as critical and first priority at this point in time. Funding was authorized for capital improvement via a general election bond authorization, further showing the support of the community.

Improvement of this park's fields, addition of a baseball infield, pickle ball court, tennis and basketball court and gazebo repairs, playground addition and remodel, additional seating and landscape amenities and repairs to the pathway system, will encourage expanded and higher-quality use by team and recreation players/users. This includes the much-needed extra field space for baseball teams in the neighborhood and region, the first pickle ball court in the park system, increased access for bikers, walkers, local neighborhood families play and party time, and other community users such as annual neighborhood events hosted by the HOA.

Such projects are valuable resource to the community, as they encourage the use, appreciation, and stewardship of all park and recreation areas available in and near the District and County.

We wish to demonstrate its continued support of the District and this specific project by providing commitment to participating in the construction process.

I sincerely hope that this furthers the efforts of this project.

Regards,

Brittany Gill

Brittany Gill
President, Cherry Creek Vista South HOA

Centennial Youth Baseball-Softball Association



5674 S Laredo Street
Centennial, CO 80015

Tuesday, 13 April 2021

Arapahoe County Open Space
6934 S. Street, Suite A
Centennial, CO 80112

Re: Cherry Creek Vista Park and Recreation District 2021 Peakview Park Project Grant

Dear Arapahoe County Open Space,

On behalf of Centennial Youth Baseball-Softball Association, I am pleased to provide a letter of support for the Peakview Park Project, to be included in the project grant application submitted by the Cherry Creek Vista Park and Recreation District.

This grant will help with the need for youth baseball and softball fields in the surrounding area. There are very few skinned fields close to the area where Peakview Park is located, which serve our many families in the cities of Greenwood Village, Centennial, as well as the nearby, unincorporated areas of Arapahoe County.

After the completion of the planning project for the park in 2020, and overall planning in 2018-2020 for the district's future, the board identified this project as critical and first priority at this point in time. Funding was authorized for capital improvement via a general election bond authorization, further showing the support of the community.

Improvement of this park's fields, addition of a baseball infield, pickle ball court, tennis and basketball court and gazebo repairs, playground addition and remodel, additional seating and landscape amenities and repairs to the pathway system, will encourage expanded and higher-quality use by team and recreation players/users. This includes the much-needed extra field space for baseball teams in the neighborhood and region, the first pickle ball court in the park system, increased access for bikers, walkers, local neighborhood families play and party time, and other community users such as annual neighborhood events hosted by the HOA.

Such projects are valuable resource to the community, as they encourage the use, appreciation, and stewardship of all park and recreation areas available in and near the District and County.

We wish to demonstrate its continued support of the District and this specific project by providing commitment to participating in the construction process and will also dedicate field signage or a park bench grant of \$1,200.00 toward the project grant.

I sincerely hope that this furthers the efforts of this project.

Sincerely,

A handwritten signature in blue ink, appearing to read "C. S. Baerns".

Christopher S Baerns
Centennial Youth Baseball-Softball Association
League Manager



111 Havana St, Suite 120, Aurora, CO 80010 USA

March 11, 2021

Arapahoe County Open Space

6934 S. Street, Suite A

Centennial, CO 80112

RE: Cherry Creek Vista Park and Recreation District 2021 Peakview Park Project Grant

Dear Arapahoe County Open Space,

On behalf of the Colorado Rapids Youth Soccer Club, I am pleased to provide a letter of support for the Peakview Park Project, to be included in the grant application submitted by the Cherry Creek Vista Park and Recreation District.

This grant will help us provide soccer to the community and will help bring to fruition our ultimate goal of helping develop our youth players on and off the fields. As a club we support players and coaches through a number of ways such as the nation's largest college placement program, an integrated relationship with UCHealth Sports Medicine, an online digital education platform that serves players, coaches, and parents, and a fully integrated sports psychology program.

After the completion of the planning project for the park in 2020, and overall planning in 2018-2020 for the district's future, the board identified this project as critical and first priority at this point in time. Funding was authorized for capital improvement via a general election bond authorization, further showing the support of the community.

Improvement of this park's fields, addition of a baseball infield, pickle ball court, tennis and basketball court and gazebo repairs, playground addition and remodel, additional seating and landscape amenities and repairs to the pathway system, will encourage expanded and higher-quality use by team and recreation players/users. This includes the much-needed extra field space for baseball teams in the neighborhood and region, the first pickle ball court in the park system, increased access for bikers, walkers, local neighborhood families play and party time, and other community users such as annual neighborhood events hosted by the HOA.

Such projects are a valuable resource to the community, as they encourage the use, appreciation, and stewardship of all park and recreation areas available in and near the District and County.

I sincerely hope that this furthers the efforts of this project.

Regards,

A handwritten signature in cursive script that reads "Ingrid Alvarez". The signature is written in black ink on a light gray rectangular background.

Ingrid Alvarez

Colorado Rapids Youth Soccer Club - South Region Recreational Coordinator

Skyline Soccer Association
2130 S Bellaire St. Denver 80222



April 14, 2021

Arapahoe County Open Space
6934 S. Street, Suite A
Centennial, CO 80112

RE: Cherry Creek Vista Park and Recreation District 2021 Peakview Park Project Grant

Dear Arapahoe County Open Space,

On behalf of Skyline Soccer Association, I am pleased to provide a letter of support for the Peakview Park Project, to be included in the project grant application submitted by the Cherry Creek Vista Park and Recreation District.

This grant will help us provide fields for our players in the preseason to practice and scrimmage before we obtain our field permits through DPR. Our coaches and players love using your parks as they are always in great condition.

After the completion of the planning project for the park in 2020, and overall planning in 2018-2020 for the district's future, the board identified this project as critical and first priority at this point in time. Funding was authorized for capital improvement via a general election bond authorization, further showing the support of the community.

Improvement of this park's fields, addition of a baseball infield, pickle ball court, tennis and basketball court and gazebo repairs, playground addition and remodel, additional seating and landscape amenities and repairs to the pathway system, will encourage expanded and higher-quality use by team and recreation players/users. This includes the much-needed extra field space for baseball teams in the neighborhood and region, the first pickle ball court in the park system, increased access for bikers, walkers, local neighborhood families play and party time, and other community users such as annual neighborhood events hosted by the HOA.

Such projects are a valuable resource to the community, as they encourage the use, appreciation, and stewardship of all park and recreation areas available in and near the District and County.

I sincerely hope that this furthers the efforts of this project.

Regards,

Gina King
6U-18U Recreational Program Administrator
Skyline Soccer Association

Scott Fong
SF Tennis

4/15/, 2021

Arapahoe County Open Space
6934 S. Street, Suite A
Centennial, CO 80112

RE: Cherry Creek Vista Park and Recreation District 2021 Peakview Park Project Grant

Dear Arapahoe County Open Space,

On behalf of the CCV tennis community, I am pleased to provide a letter of support for the Peakview Park Project, to be included in the grant application submitted by the Cherry Creek Vista Park and Recreation District.

This grant will help us grow tennis and pickle ball in the community by facilitating access to these amenities and providing high quality settings for players to enjoy.

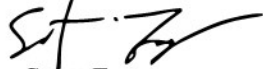
After the completion of the planning project for the park in 2020, and overall planning in 2018-2020 for the district's future, the board identified this project as critical and first priority at this point in time. Funding was authorized for capital improvement via a general election bond authorization, further showing the support of the community.

Improvement of this park's fields, addition of a baseball infield, pickle ball court, tennis and basketball court and gazebo repairs, playground addition and remodel, additional seating and landscape amenities and repairs to the pathway system, will encourage expanded and higher-quality use by team and recreation players/users. This includes the much-needed extra field space for baseball teams in the neighborhood and region, the first pickle ball court in the park system, increased access for bikers, walkers, local neighborhood families play and party time, and other community users such as annual neighborhood events hosted by the HOA.

Such projects are valuable resource to the community, as they encourage the use, appreciation, and stewardship of all park and recreation areas available in and near the District and County.

I sincerely hope that this furthers the efforts of this project.

Regards,



Scott Fong
Director, SF Tennis

Cherry Creek Vista Park and Recreation District

Peakview Park Renovation Project
Grant Application 2021

Attachment 3:
Evidence of Opposition

No opposition for the park project has been filed at this time of application.

CHERRY CREEK VISTA PARK AND RECREATION DISTRICT
P.O. BOX 359
LITTLETON, CO 80160
ccvprd.org

April 19, 2021
Arapahoe County Open Space
c/o Sandra Bottoms, Grants Program Administrator
6934 S. Lima St, Suite A Centennial, CO 80112

Re: Letter of support and promise to dedicate matching funds for the Cherry Creek Vista Park and Recreation District Peakview Park Renovation Grant

Dear Arapahoe County Open Space,

This letter of support is on behalf of the Cherry Creek Vista Park and Recreation District Board of Directors for the Project Grant of Peakview Park. The District is very pleased to guarantee a match of \$166,078 toward the project grant, as well as guaranteeing ongoing maintenance of any improvements made during and after the plan completion.

This 35-year-old park has provided great views and active organized sports activities in the Cherry Creek Vista Park and Recreation District system for many decades. The site plan and bid packet have been prepared and are ready to implement if and when funding is secured and the County Planning Department/SEMSWA approve the site plan. The Board and community have come to consensus on the scope of the plans to repair, renovate and restore this valued property for the area residents, local sports teams and clubs, and children.

The tennis/basketball courts and playground equipment are in need of full renovation, and we have submitted a plan that includes: a new pickleball court; new ADA playground footprint for older kids, as well as new younger aged ADA equipment/surfacing in the existing playground footprint, with lots of shade; tennis resurfacing/re-striping and fencing repairs, and new picnic tables and benches throughout the park to service the new and improved amenities. The addition of a dirt baseball infield, and pathway, landscaping, and parking lot repairs and expansion will increase the use and enjoyment by the thousands of walkers, bikers, children, organized soccer, baseball, tennis, basketball, and pickleball team and recreation users each year. The gazebo will also receive some care: it will be repainted, concrete pads will be repaired and new picnic benches for accessibility and safety purposes.

These changes will help bring the facilities up to current safety standards and help make greater use of the park per the wonderful community input that has been given during the planning grant process. This standard grant would provide the opportunity to construct these needed and necessary improvements while reflecting the recreational growth of the District.

The residents who participated in the planning project is very excited to have the plans ready and for having contributed to the community with a shared responsibility to preserve and protect our parks, including personal money and time by adding trees, benches and other recreation amenities, and cleaning up the park. This is also reflected in the 2014 mill levy increase that our constituents approved and the referred measure that was supported widely in the long-range strategic planning survey in 2018-2020, which led to the referral of a debt mill levy continuation to fund matching dollars for projects such as these.

I believe in and strongly support the Peakview Park Renovation Standard grant and the opportunity to serve our constituents in providing them with safe, well planned and executed parks within our District. Thank you on behalf of the Board of Directors for your ongoing partnership and consideration of this grant proposal, and for the opportunity to bring great recreation to our community and County.

Sincerely,



Stephanie Kamlet, President Board of Directors Cherry Creek Vista Park and Recreation District

RECREATION PLUS, LTD.



April 14, 2021

Arapahoe County Open Space

c/o Lindsey Miller, Grants Program Administrator
6934 S. Lima Street, Suite A
Centennial, CO 80112

Re: Support for Cherry Creek Vista Park and Recreation District Cherry Vista Park Site Construction Grant Application

Dear Arapahoe County Open Space;

Recreation Plus is pleased to extend its support to the Cherry Creek Vista Park and Recreation District in its park project grant application to improve Peakview Park.

As a playground designer, Recreation Plus, Ltd has helped the District to design and build out playgrounds in the majority of its parks, including a number which have been funded by the Arapahoe County Open Space Grants. We are excited to help with such a unique park plan that may include low-water use landscaping and education, sun shading, and playground features that can serve growing families with the neighborhood.

We would really enjoy the opportunity to work with the District's Board and contractor's one again. To that end, and with our knowledge of the limited financial resources that must be spread across the District's operations, Recreation Plus, Ltd is happy to help the construction portion of this park come to a successful conclusion by making a contribution of \$ 1,000.00 our time, in the form of in-kind professional services, associated with the playground coordination with other contractors and professionals assigned to the project. We hope that our expression of collaboration helpful in your decision to provide funding for this project.

Thank you for your continued efforts to enhance the opportunities for recreation and appreciation of the environment by funding deserving projects such as the Cherry Vista Park Improvement park project.

Sincerely,

A handwritten signature in cursive script that reads "Cathy Weissberg".

Cathy Weissberg
Principal & Lead Playground Planner
Recreation Plus, Ltd.

April 14, 2021

Arapahoe County Open Space
6934 S. Lima Street, Suite A
Centennial, CO 80112

Re: Support for the Cherry Creek Vista Park and Recreation District Peakview Park Renovation Project Grant

Dear Arapahoe County Open Space,

Root Partnership is pleased to provide a letter of support for the Peakview Park Site Renovation Project, to be included in the construction grant application submitted by the Cherry Creek Vista Park and Recreation District.

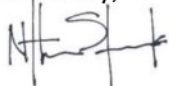
Proposed improvements include: improvement to the park's existing playing fields, addition of a baseball infield and pickleball court, repairs to the existing tennis courts and gazebo, remodel of the existing playground, and installation of a new playground. These updates will encourage an expanded and higher-quality experience for users. Including, much-needed extra field space. These updates will provide families an improved place to play and host gatherings.

After much planning during the last three years, the board identified this project as critical and a first priority. As a landscape architecture firm, Root Partnership has had the pleasure of working with Cherry Creek Vista Park and Recreation District on three previous park projects and has admired the District's ability to renovate their existing parks to fully serve the community. We are excited to partner with other experts in the industry for this park improvement project as we utilize innovative and creative approaches to serve and educate the community.

Per our experience with other government projects, we at Root Partnership understand how such construction projects are exercises in collaboration. Root Partnership will contribute by making an in-kind dedication of our services equal to \$1,000 toward the construction grant.

Thank you for your consideration of this construction grant proposal.

Sincerely,



Nathan Schrock
Principal
Root Partnership Planning and Landscape Architecture



April 9, 2021

Arapahoe County Open Space
6934 S. Street, Suite A
Centennial, CO 80112

RE: Cherry Creek Vista Park and Recreation District - Peakview Park Improvements Construction Grant

Dear Arapahoe County Open Space,

I am pleased to provide this letter on behalf of Proof Civil Consulting Engineers in support of the Peakview Park Improvements project that is being included in a construction grant application by Cherry Creek Vista Parks and Recreation District. We are honored to be contributing to this project as part of the design team and see this project as a great benefit to the local community which the park serves.

The improvements to the park will include upgrades and rejuvenation to the existing baseball and soccer fields, playgrounds, and assorted landscaping areas and public amenities throughout the park. The project will also include the addition of a pickleball court to the park at the request of several community members living near the park.

Proof Civil has been engaged to provide civil engineering services on the project. To that end, we have met with stakeholders of the park, the Arapahoe County Community Development Department, and the Southeast Stormwater Authority (SEMSWA) to develop a plan for the park that is both feasible and most beneficial for all parties involved. We believe that construction of the proposed improvements will serve the community well by providing modern and usable amenities while improving stormwater quality and enhancing site drainage for the benefit of park users and downstream property owners.

Proof Civil offers its full support of this project by providing civil engineering services and advocating where possible for the park and the surrounding community. We are also dedicating \$1000 of in-kind service toward the construction grant.

We appreciate your consideration of this project for the construction grant.

Sincerely,

PROOF CIVIL CO.

A handwritten signature in blue ink, appearing to read "Jason DeYoung", is written over a light blue horizontal line.

Jason DeYoung, P.E.
Principal



Circuit Rider of Colorado
P.O. Box 359
Littleton, CO 80160

April 1, 2021

Arapahoe County Open Space
6934 S. Street, Suite A
Centennial, CO 80112

RE: Cherry Creek Vista Park and Recreation District Peakview Park Renovation Project Grant

Dear Arapahoe County Open Space,

On behalf of Circuit Rider of Colorado, I am pleased to provide a letter of support for the Peakview Park Renovation Project, to be included in the project grant application submitted by the Cherry Creek Vista Park and Recreation District. Circuit Rider of Colorado's team members have been serving the district as its manager for over 20 years. Our interest in serving the community and seeing to its growth, maintenance and improvement is a privilege.


After the major strategic planning initiatives that took place from 2018-2020, the board identified Peakview Park as the top priority due to its high use, value and need for these critical improvements to continue its place in the neighborhood and greater region as a soccer, baseball, tennis, recreation play, walking and connection park. Its use has been especially valued during the Coronavirus closures of many workplaces and schools, as a haven for safe outdoor individual respite and activity, at a safe distance.

The prior Peakview Park planning grant allowed for the community, design team and stakeholders to go through a thorough planning process that has brought the project to a shovel-ready place with lots of great repairs and improvement planned in the site plan, which has been submitted to the County/SEMSWA and will have a construction team ready to begin the project if grant funds are available and rewarded for the project. Included in the scope are: the addition of a baseball infield and player amenities, the addition of a pickle ball court, a repaired/remodeled playground and new playground for multiple ages of children with lots of shade, repaired tennis court, basketball court and gazebo, landscaping repairs and improvements, and additional benches, picnic tables, signage and trash cans throughout the park.

These improvements will encourage expanded and higher-quality use by from team players, including the much-needed extra field space for baseball teams in the neighborhood and region, access for bikers, walkers, local neighborhood families play and party time, and other community users such as annual neighborhood events hosted by the HOA. There was great excitement at the addition of the pickle ball court and improved tennis courts, since these areas receive high use and pickle ball is such a popular up-and-coming sport.

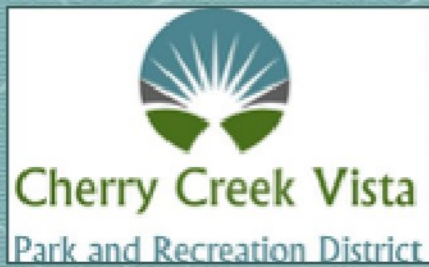
The collaborative community process that came of the planning project has ensured the park will best serve the community. We at Circuit Rider of Colorado wishes to demonstrate our continued support of the District by providing our grant administration oversight and leadership of the planning team, and community liaison throughout the process. We have dedicated \$1,064 of cash and \$1,000 of in-kind service toward the project grant.

I sincerely hope that this furthers the efforts of this project.


Randall E. Shepherd

President, Circuit Rider of Colorado





Peakview Park Renovation Grant

The District and Community express their thanks to the Board of County Commissioners, volunteers and staff at Arapahoe County Open Space for funding the planning project and for their consideration of the project grant



Thank you very much to the Board, Community and User-group members for participating in the virtual and in-person planning meetings!

Park Project Details/Existing Conditions

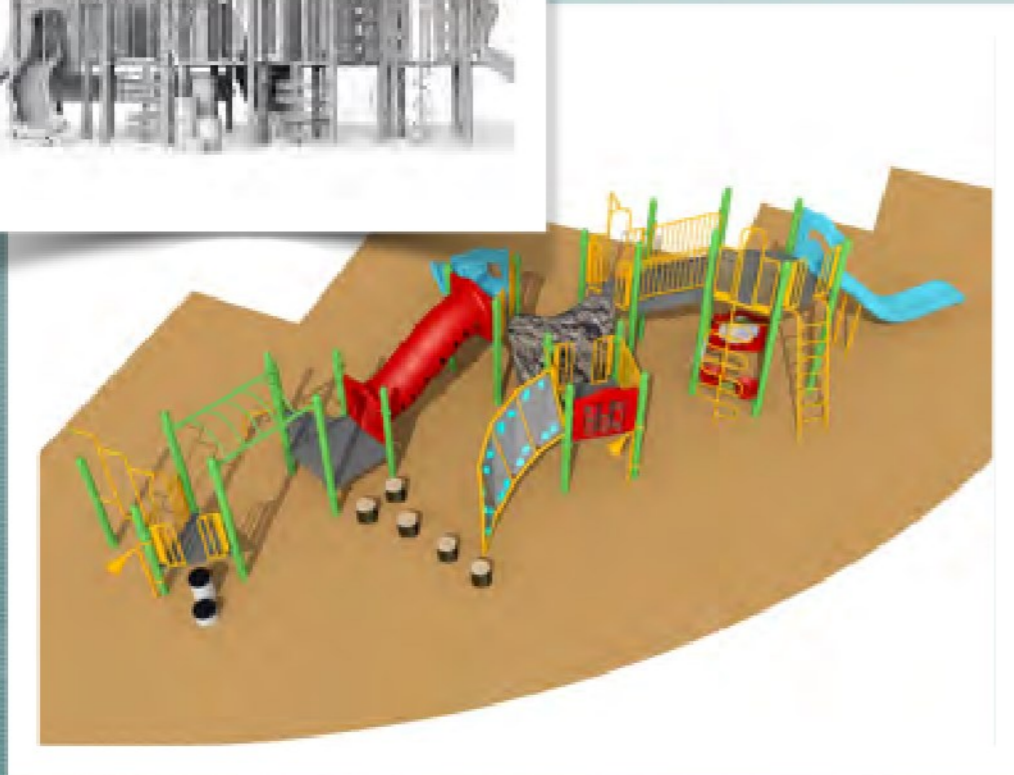
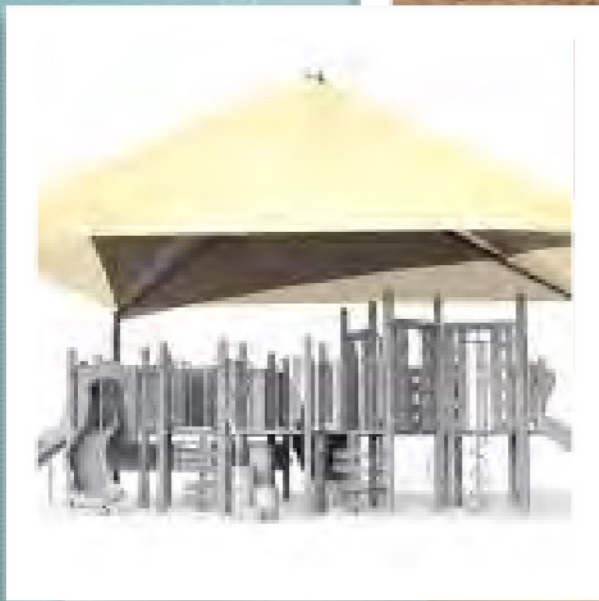
- Cut sod and install skinned baseball infield material, extend fencing and benches
- Add and repair trash cans, picnic tables, benches and concrete throughout park, paint and repair shade structure and grille



Park Project Details/Existing Conditions



- New ADA playground in existing pit for tots, safety surfacing to code
- New ADA Playground Pit and Equipment for older ages
- Shade cover



Park Project Details/Existing Conditions

- Water-smart landscaping, tree, rock and mulch additions throughout
- New Signage (wayfinding)
- Parking lot repairs



Park Project Details/Existing Conditions



- New pickleball court
- Resurfaced tennis court, expanded rock edging, new windscreens
- Relined basketball and 4-square courts

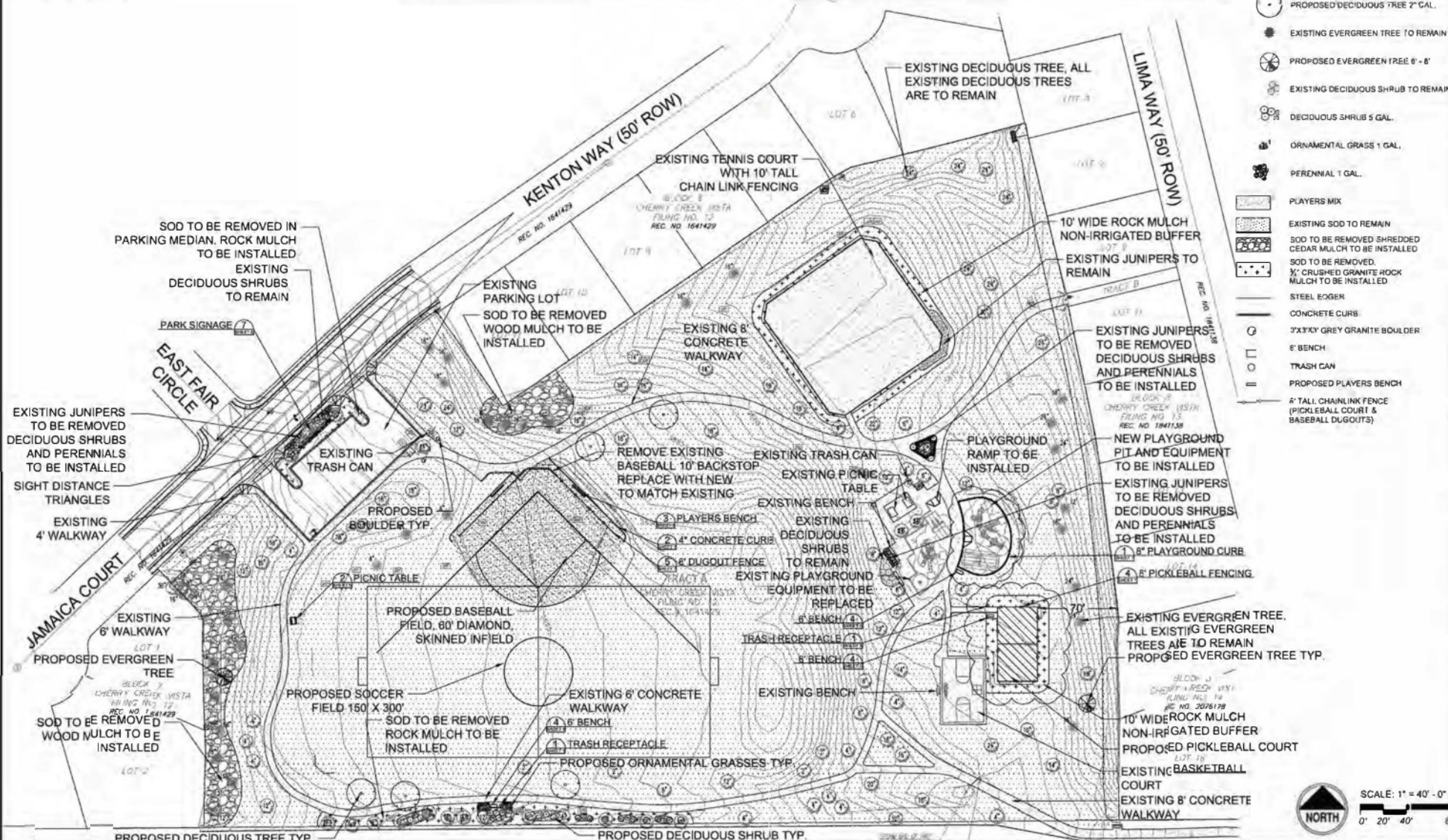
Site plan submitted to County

LOCATION & EXTENT
CHERRY CREEK VISTA COMMUNITY PARK AMENDMENT NO. 1
 CHERRY CREEK VISTA METROPOLITAN RECREATION & PARK DISTRICT
 TOWNSHIP 5 SOUTH, SECTION 23, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
 COUNTY OF ARAPAHOE, STATE OF COLORADO

LANDSCAPE PLAN

PLANT LIST & LEGEND

- EXISTING DECIDUOUS TREE TO REMAIN
- PROPOSED DECIDUOUS TREE 2" GAL.
- EXISTING EVERGREEN TREE TO REMAIN
- PROPOSED EVERGREEN TREE 6" - 8"
- EXISTING DECIDUOUS SHRUB TO REMAIN
- DECIDUOUS SHRUB 5 GAL.
- ORNAMENTAL GRASS 1 GAL.
- PERENNIAL 1 GAL.
- PLAYERS MIX
- EXISTING SOD TO REMAIN
- SOD TO BE REMOVED SHREDED CEDAR MULCH TO BE INSTALLED
- SOD TO BE REMOVED 3/4" CRUSHED GRANITE ROCK MULCH TO BE INSTALLED
- STEEL EDGER
- CONCRETE CURB
- 3"x3"x3" GREY GRANITE BOULDER
- 6" BENCH
- TRASH CAN
- PROPOSED PLAYERS BENCH
- 4" TALL CHAIN LINK FENCE (PICKLEBALL COURT & BASEBALL DUGOUTS)



PROFCMIL
consulting engineers

rp

REVISIONS

NO.	DATE	DESCRIPTION
1	02/11/2021	

REVISIONS

20857

02/11/2021

COLORADO

CHERRY CREEK VISTA COMMUNITY PARK AMENDMENT NO. 1

LANDSCAPE PLAN

ARAPAHOE COUNTY

SCALE: 1" = 40' - 0"

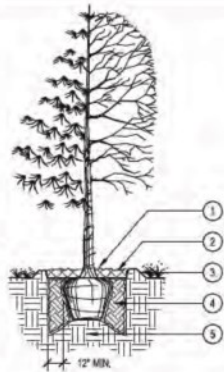
NORTH

0' 20' 40' 80'

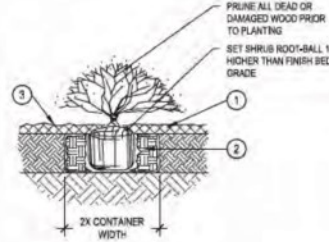
3

3 OF 6

- NOTES:**
1. TRANSPLANTED TREES SHALL BE GUARANTEED FOR SURVIVAL FOR A PERIOD OF ONE YEAR.
 2. LOCATION OF RELOCATION SHALL BE DIRECTED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
 3. ROOT-BALL SIZE SHALL BE ONE FOOT FOR EVERY ONE INCH CALIPER OF TRUNK, EVENLY DISTRIBUTED ON ALL SIDES FROM THE CENTER LINE OF THE TRUNK.
 4. TRANSPLANTING MAY ONLY OCCUR BETWEEN FEBRUARY 15 TO APRIL 30 OR SEPTEMBER 15 TO OCTOBER 30.
 5. SCARIFY PIT WALLS.
 6. PLUMB AND ORIENT PLANTS FOR BEST APPEARANCE.

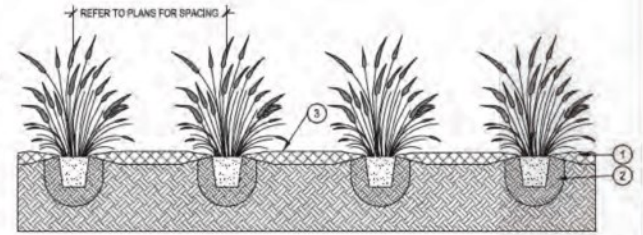


- 1 COMPACTED SUBGRADE
- 2 COMPACTED ABC
- 3 CONCRETE
- 4 #4 REBAR
- 5 AMENDED TOPSOIL



- 1 SPECIFIED MULCH
- 2 AMENDED SOIL IN PLANTING BED PER SPECIFICATIONS, TILL SOIL TO A DEPTH OF EIGHT INCHES.
- 3 FINISH GRADE (TOP OF MULCH)

- NOTE:**
1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED
 2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER
 3. ALL JUMPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER
 4. FILL PLANT PIT WITH 1/2 SPECIFIED SOIL MIX AND 1/2 PIT SOIL
 5. DIG PLANT PIT TWICE AS WIDE AND HIGH AS THE CONTAINER



- 1 SPECIFIED MULCH
- 2 AMENDED PLANTING SOIL
- 3 FINISH GRADE TOP OF MULCH

1 TREE TRANSPLANT

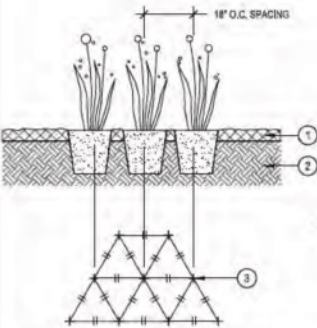
SCALE: 1/4" = 1'-0"

2 SHRUB PLANTING

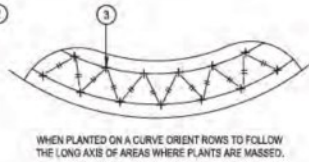
SCALE: 1/12" = 1'-4"

3 ORNAMENTAL GRASS IN MULCH

SCALE: 1" = 1'-0"



- 1 SPECIFIED MULCH
- 2 AMENDED PLANTING BED TILLED TO A DEPTH OF 6"
- 3 CENTER OF PLANT



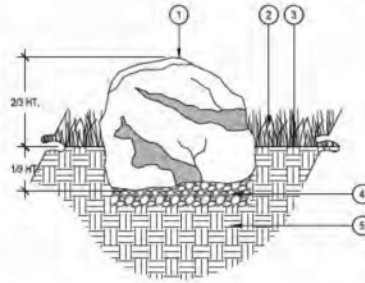
WHEN PLANTED ON A CURVE ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSSED.

4 PERENNIAL PLANT LAYOUT

SCALE: 1" = 1'-4"

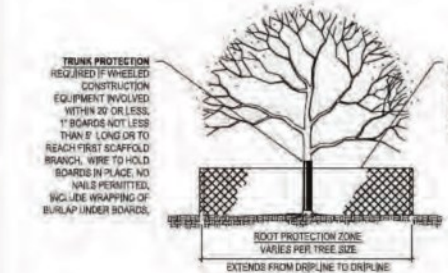
5 BOULDER SETTING & INSTALLATION

SCALE: 1" = 1'-4"



- 1 GREY MOUNTAIN GRANITE BOULDER, BURY 1/2 HT. (TYP.)
- 2 ADJACENT LANDSCAPE SURFACE, SEE PLANS
- 3 FINISHED GRADE (TYP.)
- 4 4" THICK AGGREGATE SETTING BED LAID IN 2" LIFTS
- 5 8% COMPACTED SUBGRADE

NOTE:
BOULDER LOCATIONS, ALIGNMENT, AND EXPOSURE TO BE FIELD LOCATED BY LANDSCAPE ARCHITECT / OWNER ON SITE. CONTACT OWNER'S REPRESENTATIVE PRIOR TO FINAL BOULDER INSTALLATION.



TRUNK PROTECTION
REQUIRED IF WHEELED CONSTRUCTION EQUIPMENT INVOLVED WITHIN 20' OR LESS. 1" BOARDS NOT LESS THAN 8' LONG OR TO REACH FIRST SCARFOLD BRANCH. WIRE TO HOLD BOARDS IN PLACE. NO NAILS PERMITTED. WIRE WRAPPING OF BURLAP UNDER BOARDS.

BRANCH PROTECTION
PROTECT LOWER BRANCHES OF TREE CANOPY. PROVIDE CONSTRUCTION FENCING OR EQUAL AT DRIFLINE (MIN).

PLACE SIGNS:
KEEP OUT TREE PROTECTION AREA
EVERY 50' ATTACHED TO FENCING

TREE PROTECTION NOTES

1. ALL TREES TO BE PROTECTED AND PRESERVED SHALL BE PER DETAIL. GROUPING OF MORE THAN ONE TREE MAY OCCUR.
2. TREES TO BE PROTECTED AND PRESERVED SHALL BE IDENTIFIED ON THE LANDSCAPE PLANS AND CONFIRMED BY OWNER.
3. TO PREVENT ROOT SMOTHERING, SOIL STOCKPILES, SUPPLIES, EQUIPMENT OR ANY OTHER MATERIAL SHALL NOT BE PLACED OR STORED WITHIN THE DRIP LINE OR WITHIN 15 FEET OF A TREE OR SHRUB TRUNK, WHICHEVER IS GREATER.
4. TREE ROOTS SHALL NOT BE CUT UNLESS CUTTING IS UNAVOIDABLE.
5. TRENCHES SHALL BE HAND DUG WITHIN THE DRIP LINE IN AREAS WHERE ROOTS TWO INCHES IN DIAMETER AND GREATER ARE PRESENT, OR WHEN IN CLOSE PROXIMITY TO LOW BRANCHING TREES. WHICHEVER POSSIBLE, ROOTS TWO INCHES OR GREATER IN DIAMETER SHALL BE TUNNELED OR BORED UNDER AND SHALL BE COVERED TO PREVENT DEHYDRATION.
6. WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. WHENEVER POSSIBLE, ROOTS SHOULD BE CUT BETWEEN LATE FALL AND MID-OPENING, WHEN ROOT ENERGY SUPPLIES ARE HIGH AND CONDITIONS ARE LEAST FAVORABLE FOR DISEASE-CAUSING AGENTS. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST.
7. WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.
8. AUGER TUNNELING RATHER THAN TRENCHING SHOULD BE USED FOR LITTLE TO MEDIUM PLACEMENT WITHIN DRIP LINE.
9. FENCING MATERIAL SHALL ENCLOSE ANY TREE OR WHOSE OUTER DRIP LINE EDGE IS WITHIN 20 FEET OF ANY CONSTRUCTION ACTIVITIES.
10. FENCING MATERIAL SHALL BE BRIGHT, CONTRASTING COLOR, DURABLE, AND A MINIMUM OF FOUR FEET IN HEIGHT.
11. FENCING MATERIAL SHALL BE SET AT THE DRIP LINE OR 15 FEET FROM TREE TRUNK, WHICHEVER IS GREATER, AND MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
12. ANY GRADE CHANGES (SUCH AS THE REMOVAL OF TOPSOIL OR ADDITION OF FILL MATERIAL) WITHIN THE DRIP LINE SHOULD BE AVOIDED FOR EXISTING TREES TO REMAIN. TREE WELLS ARE ACCEPTABLE ONLY WHEN CONSTRUCTED PRIOR TO GRADE CHANGE.
13. REFER TO PLANS FOR FENCE STAKING LOCATIONS.

6 TREE PROTECTION

SCALE: 1/8" = 1'-4"



30" H X 60" W ALUMINUM SIGN
COMPOSITE FACES, COLOR LOGO
GREY LETTERING
GREY POWDER COATED STEEL 8" POSTS
OVERALL DIMENSIONS TO MATCH
PEAKVIEW PARK EXISTING SIGNAGE
PICTURED SIGN TO SHOW OVERALL
DIMENSIONS AND STYLE

7 PARK SIGNAGE

NO.	DATE	BY	CHKD	DESCRIPTION
00087	02/11/2021			DESIGN/REVISE

LANDSCAPE NOTES

1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLAN AS CLOSELY AS POSSIBLE. ANY DISCREPANCY IN THE PLAN VS. THE FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
2. NOTIFY THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF LANDSCAPE MATERIAL AND IRRIGATION PRODUCTS PRIOR TO INSTALLATION.
3. THE CONTRACTOR SHALL WARRANTY THE PLANT MATERIAL, WORKMANSHIP, AND THE IRRIGATION SYSTEM FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THE PROJECT.
4. THE DEVELOPER, THEIR SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL FENCING AND LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT.
5. DO NOT DISTURB EXISTING PAVING, LIGHTING, LANDSCAPE, OR IRRIGATION THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLANS. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING SITE CONDITIONS.
6. ANY EXISTING OR PROPOSED PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH THE SAME SPECIES AT THE CONTRACTOR'S EXPENSE.
7. ALL CONSTRUCTION ACTIVITIES SHALL REMAIN OUTSIDE OF THE DRIPLINE OF ALL EXISTING TREES. SEE SHEET 6, DETAIL B FOR TREE PROTECTION DETAIL.
8. REFER TO PLANS AND SPECIFICATIONS FOR FURTHER INFORMATION REGARDING LANDSCAPE AND IRRIGATION INSTALLATION.
9. ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND UNPLANTED ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
10. ALL LANDSCAPE AREAS AND PLANT MATERIAL MUST BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. AUTOMATIC RAIN SHUT-OFF SENSORS SHALL BE MANDATORY ON THE IRRIGATION SYSTEM.
11. ALL PLANT SIZES IN SCHEDULE ARE SHOWN AS MINIMUM SIZES. OWNER RESERVES THE RIGHT TO UPGRADE PLANT MATERIAL TO LARGER SIZES DURING INSTALLATION.
12. ALL PLANT MATERIAL SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULES AND REGULATIONS.
13. EXACT LOCATIONS OF PLANT MATERIALS ARE SUBJECT TO CHANGE BASED UPON FINAL SITE LAYOUT.
14. ALL LANDSCAPE AREAS ARE TO RECEIVE SOIL PREPARATION PER THE SPECIFICATIONS. SODDED AREAS ARE TO RECEIVE 5.0 CU YDS/1,000 S.F. PLANTING BEDS ARE TO RECEIVE 3.0 CU YDS/1,000 S.F.
15. ALL SHRUB BEDS ARE TO BE MULCHED AS NOTED. SHREDDED CEDAR MULCH IS TO BE 3"-4" IN DEPTH. 1/2"-1" CRUSHED GRANITE IS TO BE 3" IN DEPTH. WEED FABRIC IS NOT TO BE INSTALLED IN ROCK OR WOOD MULCH BEDS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
17. CONTRACTOR SHALL REMOVE ALL SEDIMENT, MUD, AND CONSTRUCTION DEBRIS THAT ACCUMULATES OUTSIDE OF LANDSCAPE AREAS AS A RESULT OF THEIR OPERATIONS. CONTRACTOR MUST ADHERE TO EROSION CONTROL MEASURES ON THE SITE. ANY ADVERSE CONDITIONS CAUSED BY THE CONTRACTOR'S OPERATIONS MUST BE REMEDIATED IMMEDIATELY.
18. ANY MAJOR CHANGES MADE TO THE SITE PLAN AS A RESULT OF FIELD CONDITIONS SHALL BE ON THE AS-BUILT'S OF THE CONSTRUCTION DRAWING SET AS BUILT CONSTRUCTION DRAWINGS FOR THE LANDSCAPE AND IRRIGATION SHALL BE PREPARED, BY CONTRACTOR, PRIOR TO FINAL ACCEPTANCE.
19. GRADING SHALL BE SMOOTH-FLOWING WITH POSITIVE DRAINAGE IN ALL AREAS. THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT TO CLARIFY ANY PROBLEMS THAT MAY ARISE REGARDING DRAINAGE.

GENERAL NOTES

1. CALL UTILITY LOCATORS PRIOR TO ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR ANY UTILITIES DAMAGED DUE TO CONSTRUCTION ACTIVITIES.
2. THE CONTRACTOR IS NOT TO DAMAGE CURBS, WALKS, OR ASPHALT WHICH IS NOT INCLUDED IN THE SITE PREPARATION DURING THEIR CONSTRUCTION ACTIVITIES. COST TO REPAIR ANY SUCH DAMAGE WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION AND CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY TO CLARIFY ANY DISCREPANCIES AND COORDINATE TRANSITION TO EXISTING LANDSCAPE.
4. TOTALLY REMOVE AND DISPOSE OF ALL PAVING MATERIAL PROPERLY, INCLUDING BASE COURSE AND ANY OTHER DEBRIS ENCOUNTERED.
5. CONCRETE SAWCUTS SHALL BE CRISP CLEAN CUTS THAT ARE NEAT IN APPEARANCE. LOCATE ALL SAWCUTS AS REQUIRED PER DIRECTION OF THE OWNER'S REPRESENTATIVE.
6. CONTRACTOR TO REFER TO LAYOUT AND GRADING PLANS FOR NECESSARY DIMENSIONS TO ESTABLISH SITE PREPARATION BOUNDARIES.
7. THE CONTRACTOR SHALL REPLACE AT THEIR EXPENSE ALL TREES THAT ARE DAMAGED BY CONSTRUCTION OPERATIONS.
8. CONTRACTOR IS TO PROVIDE A LUMP SUM COST ON THE BID FORM FOR ANY NECESSARY TEMPORARY TRAFFIC CONTROLS DURING THE CONSTRUCTION OF THE PROJECT.
9. CONTRACTOR IS TO KEEP STREETS FREE OF SEDIMENT.

PLANT LIST

ABV	BOTANICAL NAME	COMMON NAME	SIZE
	<i>Gleditsia triacanthos</i> 'Inrimja' 'Shademaster'	SHADEMASTER HONEYLOCUST	2" CAL. B&B
	<i>Faxinus americana</i> 'Autumn Purple'	AUTUMN PURPLE ASH	2" CAL. B&B
	<i>Faxinus pennsylvanicus</i> 'lanceolata'	GREEN ASH	2" CAL. B&B
	<i>Tilia cordata</i>	LITTLE LEAF LINDEN	2" CAL. B&B
	<i>Acer rubra</i> 'Morton'	STATE STREET MAPLE	2" CAL. B&B
EVERGREEN TREES			
	<i>Picea pungens</i>	COLORADO SPRUCE	6" HT. B&B
	<i>Pinus nigra</i>	AUSTRIAN PINE	6" HT. B&B
	<i>Abies concolor</i>	CONCOLOR FIR	6" HT. B&B
DECIDUOUS SHRUBS			
	<i>Ribes alpinum</i>	ALPINE CURRANT	5 GAL.
	<i>Cornus sericea</i> 'Bailey'	BAILEY DOGWOOD	5 GAL.
	<i>Cornus sericea</i> 'flaviramosa'	YELLOWTWOIG DOGWOOD	5 GAL.
	<i>Spiraea nipponica</i> 'Snowmound'	SNOWMOUND SPIREA	5 GAL.
	<i>Viburnum triflorum</i> 'Compadrum'	DWARF AMERICAN CRANBERRY	5 GAL.
	<i>Rhus trilobata</i> 'Autumn Amber'	AUTUMN AMBER SUMAC	5 GAL.
	<i>Spiraea japonica</i> 'Magik Carpet'	MAGIC CARPET SPIREA	5 GAL.
EVERGREEN SHRUBS			
	<i>Juniperus sabinna</i> 'Buffalo'	BUFFALO JUNIPER	5 GAL.
	<i>Juniperus sabinna</i> 'tamariscifolia'	TAMMY JUNIPER	5 GAL.
	<i>Cotoneaster apiculata</i>	GRANBERRY COTONEASTER	5 GAL.
	<i>Pinus mugo</i> 'mughus'	MUGHO PINE	5 GAL.
ORNAMENTAL GRASSES			
	<i>Pennisetum alopecuroides</i> 'Hameln'	HARDY FOUNTAIN GRASS	1 GAL.
	<i>Calamagrostis acutiflora</i> 'Kar1 Foerster'	KARL FOERSTER FEATHER REED GRASS	1 GAL.
	<i>Miscanthus sinensis</i> 'Gracillima'	MAIDEN GRASS	1 GAL.
PERENNIALS			
	<i>Euphyasia fortunei</i> 'Colorado'	PURPLE WINTERCREEPER	1 GAL.
	<i>Polygonum affine</i>	HIMALAYAN BORDER JEWEL	1 GAL.
	<i>Sedum spurium</i> 'Red Carpet'	RED CARPET SEDUM	1 GAL.
	<i>Sedum spectabile</i> 'Autumn Joy'	AUTUMN JOY SEDUM	1 GAL.
	<i>Echinacea purpurea</i>	PURPLE CONEFLOWER	1 GAL.
	<i>Geranium 'Gerwat'</i> 'Rozanna'	ROZANNE GERANUM	1 GAL.
	<i>Agastache cana</i>	TALL DOUBLE BUBBLEMINT HYSSOP	1 GAL.
	<i>Penstemon mexicali</i> 'Red Rocks'	RED ROCKS MEXICALE PENSTEMON	1 GAL.
	<i>Rudbeckia hirta</i>	BLACK-EYED SUSAN	1 GAL.

TURF GRASS / SOG FOR SITE DISTURBANCE REPAIR

COMMON NAME	% OF TOTAL
KENTUCKY BLUEGRASS, HAMPTON	40%
KENTUCKY BLUEGRASS, SHANNON	30%
KENTUCKY BLUEGRASS, PROSPERITY	20%
KENTUCKY BLUEGRASS, RHAPSODY	10%
TOTAL	100%



COLOR HUNTER
RIBBON STYLE
32" GALLON
MOUNT TO IN GROUND
CDOT CLASS 8
CONCRETE FOOTERS

1 TRASH RECEPTACLE



8' PORTABLE TABLE
BROWN LEGS
GREEN TABLE
MOUNT TO IN GROUND
CDOT CLASS 8
CONCRETE FOOTERS

2 PICNIC TABLE



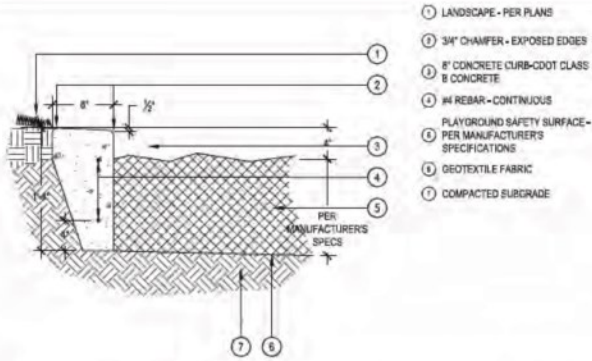
18' GALVANIZED
BACKED BENCH
GALVANIZED FRAME
M1 PERMANENT MOUNT
IN GROUND MOUNT

3 PLAYERS BENCH



8' BENCH
WITH BACK
COLOR HUNTER
RIBBON STYLE
MOUNT TO IN GROUND
CDOT CLASS 8
CONCRETE FOOTERS

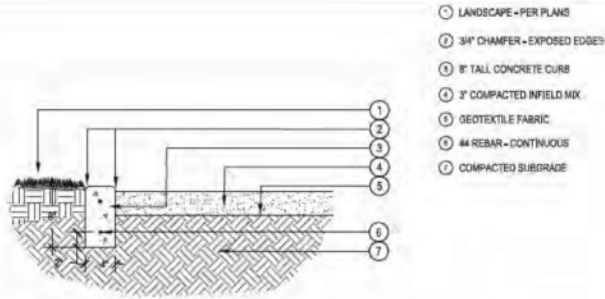
4 BENCH



- 1 LANDSCAPE - PER PLANS
- 2 3/4" CHAMFER - EXPOSED EDGES
- 3 8" CONCRETE CURB-DOT CLASS B CONCRETE
- 4 #4 REBAR-CONTINUOUS
- 5 PLAYGROUND SAFETY SURFACE - PER MANUFACTURER'S SPECIFICATIONS
- 6 GEOTEXTILE FABRIC
- 7 COMPACTED SUBGRADE

1 8" PLAYGROUND CURB

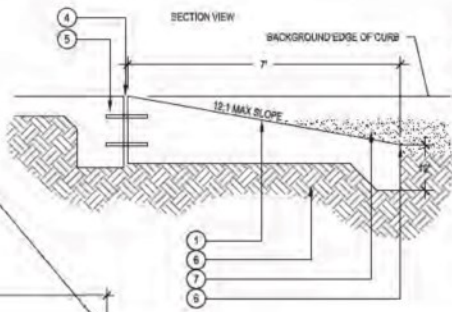
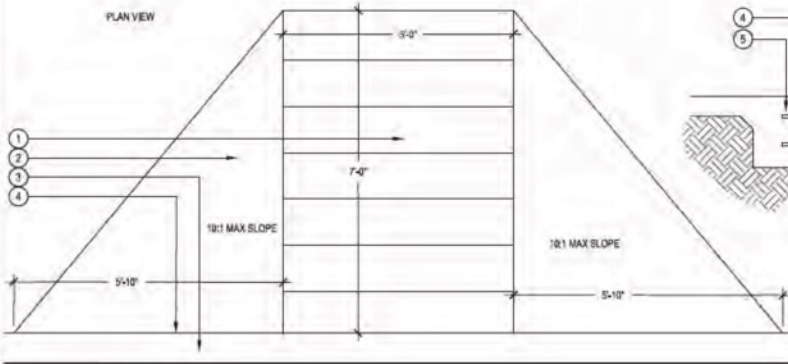
SCALE: 1-1/2" = 1'-0"



- 1 LANDSCAPE - PER PLANS
- 2 3/4" CHAMFER - EXPOSED EDGES
- 3 8" TALL CONCRETE CURB
- 4 3" COMPACTED INFIELD MIX
- 5 GEOTEXTILE FABRIC
- 6 #4 REBAR-CONTINUOUS
- 7 COMPACTED SUBGRADE

2 4" CONCRETE CURB WITH INFIELD MIX DUGOUT

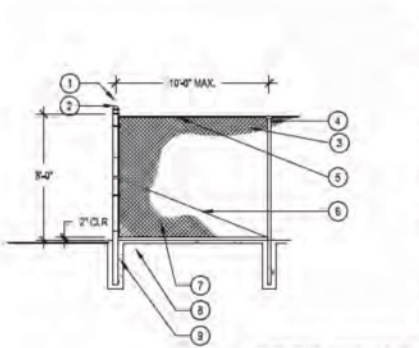
SCALE: 1-1/2" = 1'-0"



- 1 SLOPING CONCRETE RAMP SURFACE-DOT CLASS B CONCRETE
- 2 RAMP FLARES
- 3 PLAY AREA CURB
- 4 EXPANSION JOINT
- 5 #4 x 12" REBAR DOWEL @ O.C.
- 6 6% COMPACTED SUBGRADE
- 7 PLAY AREA SURFACING (TYP.)
- 8 1/2" RADIUS TOOLED EDGE TYP.

3 PLAYGROUND RAMP

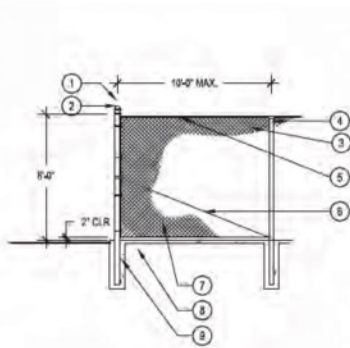
SCALE: 3/4" = 1'-0"



- 1 CAP WELDED IN PLACE
- 2 END CORNER POSTS 3" NOMINAL PIPE SIZE
- 3 DOUBLE KNUCKLE FABRIC, TOP AND BOTTOM, 9 GAUGE MESH (TYPICAL)
- 4 LINE POST 2 1/2" O.D. NOMINAL PIPE SIZE (TYPICAL)
- 5 TOP & BOTTOM RAIL, 1 1/2" NOMINAL PIPE, WELDED IN PLACE (TYPICAL, MIDDLE RAIL OCCURS ONLY ON CORNER PANELS OR CHANGE OF DIRECTION PANELS)
- 6 TRUSS ROD 1/2" DIA. THREADED ROD WITH TRUSS TIGHTNER AT BOTH ENDS (TYPICAL ALL CORNERS)
- 7 WOVEN TIE WIRE THROUGH FABRIC
- 8 COMPACTED SUBGRADE
- 9 36" DEPTH CONCRETE FOOTING

4 8' PICKLEBALL COURT CHAINLINK FENCE

SCALE: 1/4" = 1'-0"



- 1 CAP WELDED IN PLACE
- 2 END CORNER POSTS 3" NOMINAL PIPE SIZE
- 3 DOUBLE KNUCKLE FABRIC, TOP AND BOTTOM, 9 GAUGE MESH (TYPICAL)
- 4 LINE POST 2 1/2" O.D. NOMINAL PIPE SIZE (TYPICAL)
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- 6 TRUSS ROD 1/2" DIA. THREADED ROD WITH TRUSS TIGHTNER AT BOTH ENDS (TYPICAL ALL CORNERS)
- 7 WOVEN TIE WIRE THROUGH FABRIC
- 8 COMPACTED SUBGRADE
- 9 36" DEPTH CONCRETE FOOTING

5 8' DUGOUT CHAINLINK FENCE

SCALE: 1/4" = 1'-0"

REVISIONS	
NO.	DESCRIPTION

General Notes:

Age Group

2-5 yrs 5-12 yrs 12-17 yrs 13+ yrs

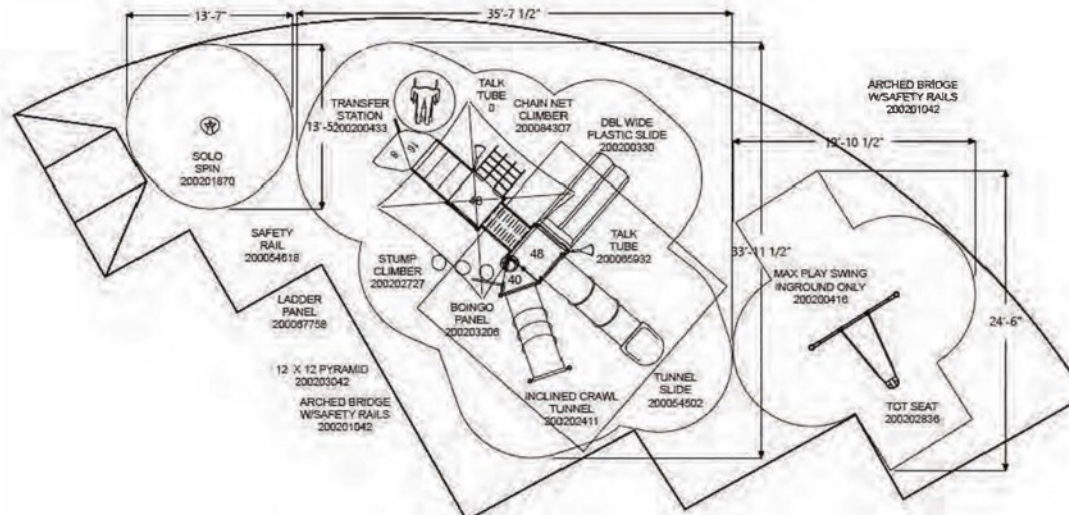
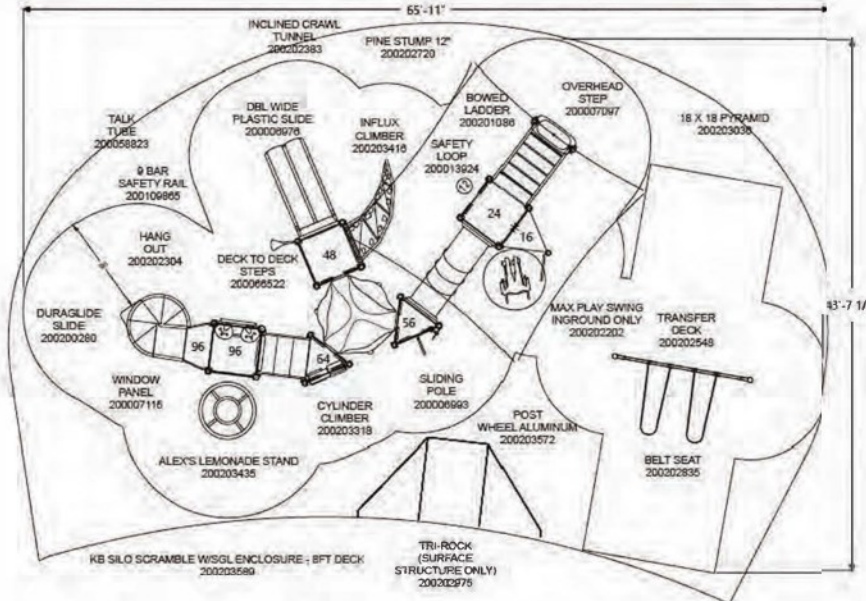
1. The Americans with Disabilities Act (ADA) may require that you make your park and/or playground accessible when viewed in its entirety. Please consult your legal counsel to determine if the ADA applies to you.
2. For playground equipment to be considered accessible, accessible surfacing must be utilized in applicable areas.
3. Although a particular playground design may not meet the proposed Access Board Regulations in regards to the appropriate number of ground level events, the actual playground may be in compliance when considering existing play components.
4. All deck heights are measured from top of ground cover.
5. All sloping ground cover is required under and around all play equipment.
6. The minimum recommended fall zone around the entire playstructure is shown. This zone is to be free of all tripping or collision hazards (i.e. roots, rocks, border material, etc.).
7. All post lengths are identified by text showing the post height, i.e. 56 requires a 56 inch post.
8. Not all equipment may be appropriate for all children. Supervision is required.

AGE GROUP: 2-5

ELEVATED PLAY ACTIVITIES - TOTAL: 8
 ELEVATED PLAY ACTIVITIES ACCESSIBLE BY TRANSFER: 0 REQ'D 4
 ELEVATED PLAY ACTIVITIES ACCESSIBLE BY RAMP: 0 REQ'D 0
 GROUND LEVEL ACTIVITY TYPE: 4 REQ'D 3
 GROUND LEVEL QUANTITY: 6 REQ'D 3

AGE GROUP: 5-12

ELEVATED PLAY ACTIVITIES - TOTAL: 8
 ELEVATED PLAY ACTIVITIES ACCESSIBLE BY TRANSFER: 0 REQ'D 4
 ELEVATED PLAY ACTIVITIES ACCESSIBLE BY RAMP: 0 REQ'D 0
 GROUND LEVEL ACTIVITY TYPE: 4 REQ'D 3
 GROUND LEVEL QUANTITY: 5 REQ'D 3



Project: Peakview Park new area for Ch Englewood, CO

LTCPS rep:
 Jesse Rodgers
 Recreation Plus, LTD
 (303) 278-1455

Ground Space: 59'-6" x 74'-6"
 Protective Area: 73'-6" x 87'-6"

Drawn by: Cathy Weissberg
 Date: 1/20/2021
 DWG Name: R0312_44210372759

LTCPS - Farmington
 878 East Highway 60
 Monett, Missouri 65708
 Voice: 1-800-325-8828
 Fax: 417-354-2273

ADA Playgrounds Detail

Playground Layout Compliance:

- ASTM F1487 - Playground Equipment for Public Use.
- CPSC Handbook for Public Playground Safety

This playground design meets the final Access Board Regulations.

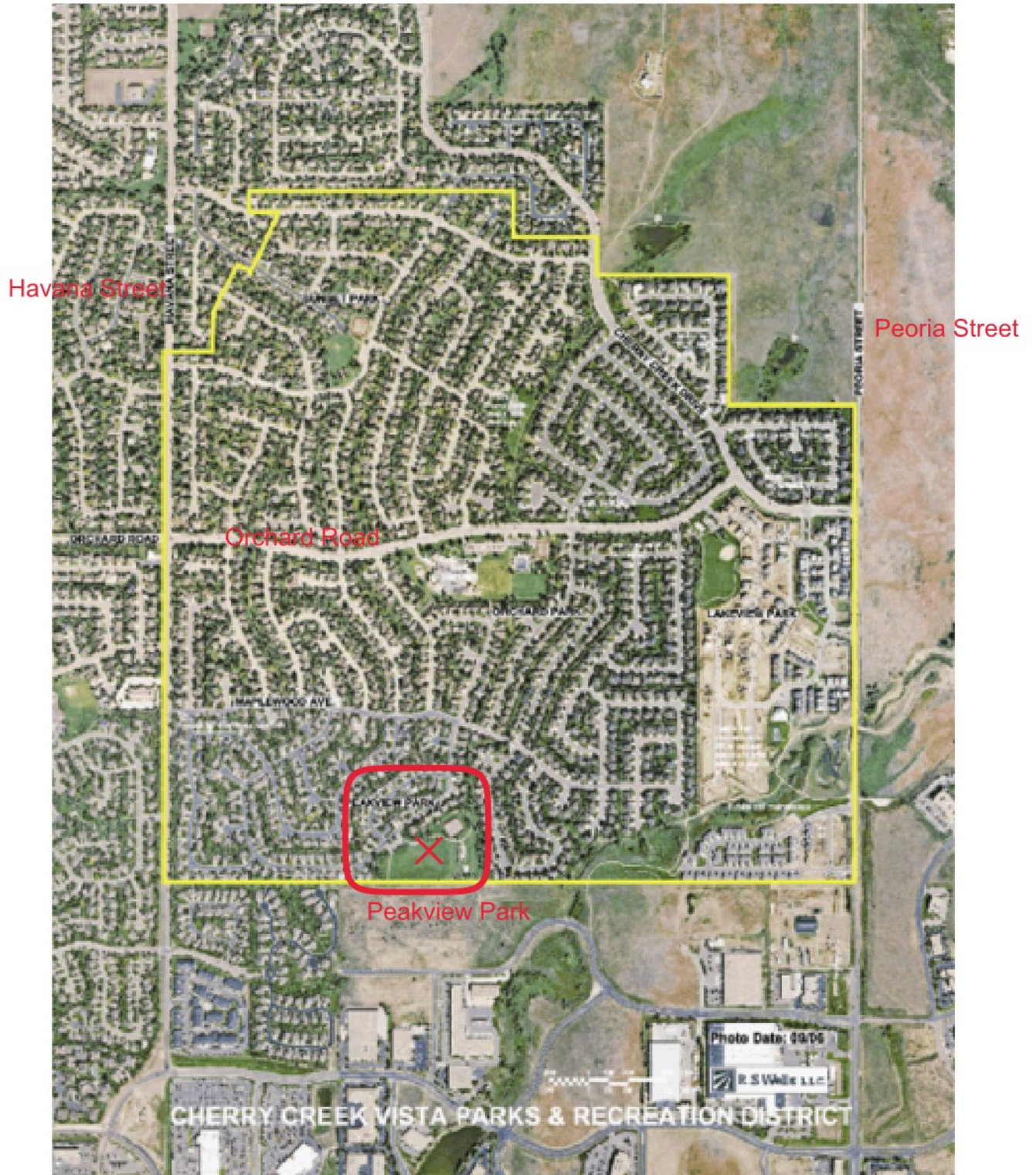


The play components identified in this plan are IPEMA certified. The use and layout of these components conform to the requirements of ASTM F1487.

LEED points for this structure

1

Park Vicinity Map





Park Site Map





2021 Open Space Grants - Site Visit Form

Cherry Creek Vista Park and Recreation District

Standard Grant

Applicant

Grant Category

Peakview Park Renovation Project

Title of Grant Project

Sarah Shepherd, 303-652-7745

sees@ccrider.us

**Site Visit Representative Name
Cell Phone #**

Site Visit Representative Email and

cell # will be used to contact you on site visit day if necessary (e.g., running late, weather complications, etc.)

1. Please provide the project address or the closest major intersection.

Peakview Park, 6294 S Kenton Way, Englewood, CO 80111

2. Specify a meeting location at the project site.

Parking Lot at the Park Entrance (there is only one vehicle/parking lot entrance to the park).

3. Provide other helpful information, for example parking instructions, availability of restrooms on site or nearby, necessary walking from parking to site, or other clarification. Driving directions from the ACOS office (6934 S. Lima St., Centennial) are not required, but may be included if the site is difficult to find.

Please access the park by driving either South along S Havana Street from Orchard Road or North from Arapahoe Road / E Peakview Ave along S Havana Street. Turn East onto Maplewood Avenue, then right (South) on S Kenton Way. When you turn up the hill please look left and enter the parking lot. There is a sign that reads Peakview Park to direct you into the parking lot. Please note that cell service can be a bit spotty at this location—texting often works better than calling.

PIN: 031841950
AIN: 2075-23-2-31-012
Situs Address: 6294 S Kenton Way
Situs City: Englewood

Full Owner List: Cherry Creek Vista Metro Rec & Park
Ownership Type: Fee Simple Ownership
Owner Address: 8390 E Crescent Pkwy Suite 500
City/State/Zip: Greenwood Village, CO 80111-2814

Neighborhood: Cherry Creek Vista North
Neighborhood Code: 457.00
Acreage: 8.4800
Land Use:
Legal Desc: Tract A Blk 6 Cherry Creek Vista 12Th Flg

	Total	Building	Land
2019 Appraised Value	4,240	0	4,240
2019 Assessed Value	1,230	0	1,230
		2019 Mill Levy:	94.610

<i>Sale</i>	Book Page	Date	Price	Type
	5695 0152	03-28-1989	0	
	3412 0309	06-01-1980	1	

<i>Land Line</i>	Units	Land Use
	8.4800 AC	Tract

Note: Land Line data above corresponds to the initial appraised value and does not reflect subsequent appeal related adjustments, if any.

* Not all parcels have available photos / sketches.

In some cases a sketch may be difficult to read. Please contact the Assessors Office for assistance. Measurements taken from the exterior of the building.

The Arapahoe County Assessors Office does not warranty the accuracy of any sketch, nor assumes any responsibility or liability to any user.

Although some parcels may have multiple buildings and photos, at this time our system is limited to 1 sketch and 1 photo per parcel number. Sorry for any inconvenience.

[New Search](#)



Cherry Creek Vista
Park and Recreation District

P.O. Box 359
Littleton, CO 80160
303-482-1002
www.ccvprd.org

Arapahoe County Public Works & Development
Planning Division
6924 S Lima St
Centennial, CO 80112

Re: Letter of Intent for the Peakview Park Site Improvements

Attn: Planning Division:

As the District's Board President (owner), Cherry Creek Vista Park and Recreation District, Jason DeYoung of Proof Civil Consulting Engineers, and Sarah Shepherd, District Manager, is hereby authorized to prepare and sign application materials and otherwise represent the owners regarding the Site Improvement Plan for Peakview Park located at 6294 S Kenton Way, Englewood, CO 80111; Parcel ID 2075-23-2-31-012.

Please direct any questions to the District Manager, Sarah Shepherd, at sees@ccrider.us, or 303-482-1002 ext .700.

Thank you very much for your consideration of the application,

Stephanie Kamlet

Dated: March 3rd, 2021

State of Colorado

County of Arapahoe

Before me, the undersigned notary public, in and for said state, personally appeared, Stephanie Kamlet (insert name of owner here), personally known to me or proved to me on the basis of satisfactory evidence to the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged he/she executed the same.

Witness my hand and official seal:

Notary Public Signature

SEAL:

STEVEN ZAUGG
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20034009024
MY COMMISSION EXPIRES 03/14/2023



February 17, 2021

Arapahoe County
6924 South Lima Street
Centennial, CO 80112
Attn: Kelsea Dombrovski, Planner
Via Email

RE: Peakview Park Improvements

Dear Ms. Dombrovski,

This narrative is being written to demonstrate compliance of the proposed project with the eligibility requirements set forward in the Arapahoe County Land Development Code (LDC) for Administrative Amendments. Compliance is addressed by category as outlined in the LDC:

A. Land Uses

The proposed development does not include any residential dwellings, and will not present any change of use. The area affected by proposed improvements is limited to 0.56 acres.

B. Development Standards

The proposed increase in lot coverage by improvements is 0.12 acres, which is 1.2% of the lot size. Setbacks will be maintained. No buildings are being proposed, and no parking is being reduced.

C. Open Space / Buffers

Open space will not be decreased, and access thereto is not revised with this application. Buffers will be maintained, and the proximity of the pickleball court to nearby residential lots (68') is greater than that of the amenities in the previously approved L&E plan (playground – 57' from property line). No buildings are being proposed, and no parking is being reduced.

D. Utilities/Infrastructure

No utility mains or offsite infrastructure will be affected as part of this application. No access points to public roadways will be modified.

E. Location

The boundary, zoning, and use of the subject property will remain unchanged.

F. Ordinances

Proposed improvements pose no conflict with applicable ordinances and no variance requests are needed at this point.

G. Cumulative Affect

All of the effects to the approved L&E by the proposed improvements have been considered cumulatively in conjunction with previously approved documents.

If you have additional questions, please contact me at my email address or at 303-325-5709.

Best Regards,

A handwritten signature in blue ink, appearing to read "Jason DeYoung", is written over a light blue horizontal line.

Jason DeYoung, PE
Proof Civil



February 17, 2021

Arapahoe County
6924 South Lima Street
Centennial, CO 80112
Attn: Molly Orkild-Larson, Senior Planner
Via Email

RE: Peakview Park Improvements

Dear Ms. Orkild-Larson,

Proof Civil is submitting this narrative on behalf of Cherry Creek regarding the proposed improvements to Peakview Park. The district intends to construct an upgraded baseball field, a proposed pickleball court, and an upgraded/expanded playground area.

Peakview Park is located at 6294 S Kenton Way near the corner of East Fair Cir and South Kenton Way. The property PIN is 031841950 and is located within the Cherry Creek Vista Filing No. 6 Neighborhood.

The following lists the property owner / project application and project consultants:

Owner/Applicant

Sarah Shepherd
Cherry Creek Vista Park and Recreation District
PO Box 359, Littleton, CO 80160

Landscape Architect

Root Partnership
Joanna Waldenmyer
10041 Rampart Court, Suite 126
Littleton, CO 80125

Civil Engineer

Proof Civil
Jason DeYoung
600 Grant Street Suite 210
Denver, CO 80203

If you have additional questions, please contact me at my email address or at 303-325-5709.

Best Regards,

A handwritten signature in blue ink, appearing to read "Jason DeYoung", is written over a light blue horizontal line.

Jason DeYoung, PE
Proof Civil

Drainage Letter

Peakview Park

(JN: 20067)

6294 S Kenton Way
Englewood, CO

February 11, 2021

Prepared for:

Cherry Creek Vista Parks & Recreation District

Attn: Sarah Shepherd
11350 E Orchard Rd
Englewood, CO 80111
303.770.4295

Prepared by:

Proof Civil

Jason DeYoung, PE
600 Grant Street Suite 210
Denver, CO 80203
303.325.5709

SEMSWA Case No. PS20-00137

I. Introduction

This letter has been prepared in order to demonstrate conformance of the proposed site improvements at Peakview Park with the historical drainage patterns without introducing negative effects to downstream or adjacent properties.

II. Project Description

A. Site Location

This site is comprised of Tract A, Block 6, Cherry Creek Vista Subdivision in Englewood, unincorporated Arapahoe County, State of Colorado. The proposed site is zoned as PUC and is located at 6294 South Kenton Way. The site is bounded to the east, north and west by residential single family development and to the south by the border of the City of Centennial and an industrial development therein.

B. Description of Property

The property has an area of 8.48 acres and consists of the existing Peakview Public Park. The property is comprised of largely pervious irrigated turf and mature trees, with miscellaneous park elements such as paved walking paths, playgrounds, sport courts, and picnic areas. An updated baseball field, proposed pickleball court, and revised playground are being constructed as a part of this development. The total disturbance area is approximately 0.56 acres.

According to the United States Department of Agriculture Natural Resources Conservation Service (NRCS) National Cooperative Soil Survey, onsite soils are identified as Renohill-Buil loams and are classified as Hydrologic Soil Group D. Group D soils are chiefly clays. They have low infiltration rates when thoroughly wetted and have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

According to FEMA Flood Insurance Rate Map Panel #08005C0476L, the subject site is located within flood hazard area Zone X. Zone X is defined as area outside the 0.2-percent-chance (or 500-year) flood. Refer to Appendix A for the applicable FEMA flood map.

III. Existing Site Conditions

The existing site consists largely of irrigated turf that slopes generally from west to east. Site generated runoff sheet flows through the property toward the east, and flows are channelized on the north and east boundaries of the site to an outfall point at along the eastern boundary. At this outfall an offsite concrete channel conveys flows via a residential neighborhood regional drainage system to Cottonwood Creek.

IV. Total Impervious Area

The previously approved limits and extents plan for the site from 1989 illustrated 40,280 sf of impervious area onsite. The actual existing condition prior installation of proposed improvements includes 42,102 sf of impervious area, as the built condition of the park does not match the approved plan. The proposed improvements will result in 44,448 sf of total impervious area onsite. The difference from the approved L&E to the proposed condition is the addition of 4,724 sf of impervious area.

V. Project Impact on Original Drainage Design and Intent

The proposed improvements will not adversely affect the intent of the original drainage design, as the improvements will increase the site imperviousness by only 1%, and historical drainage patterns will be followed. Flows generated from impervious surfaces of the proposed improvements will be directed to existing buffers and swales that will discharge to the offsite drainage channel.

VI. Existing Drainage Issues and/or Concerns

No known existing drainage issues or concerns are associated with the subject site.

VII. Changes in Flows or Drainage Patterns

Proposed drainage patterns will follow historical conditions and proposed improvements will not cause any revisions to flow paths. As the proposed improvements will cause a negligible effect on overall site imperviousness and resulting generated flows, existing conveyance facilities downstream of the park will also be virtually unaffected.

VIII. Water Quality Improvements

Runoff from proposed park improvements will be discharged over a undisturbed, vegetated, and irrigated area that will disperse flows over an area that is greater than 190 feet in length. This area will satisfy the criteria selection for a tier 2 developments as the vegetated area is greater than 50', greater than three times the required length for grass buffers of 14', and 135' of the area is sloped at 3%.

The proposed baseball field is located upstream of approximately 400 feet of pervious, irrigated turf area that is sloped at greater than 4% and thus outside of the tier 2 development criteria. However, the baseball field itself will not be impervious and therefore will not be generating flows needing treatment.

IX. Conclusion

The proposed development will comply with the intent of the existing drainage design, will have negligible effects on runoff rates, and will not have adverse effects on adjacent or downstream properties.

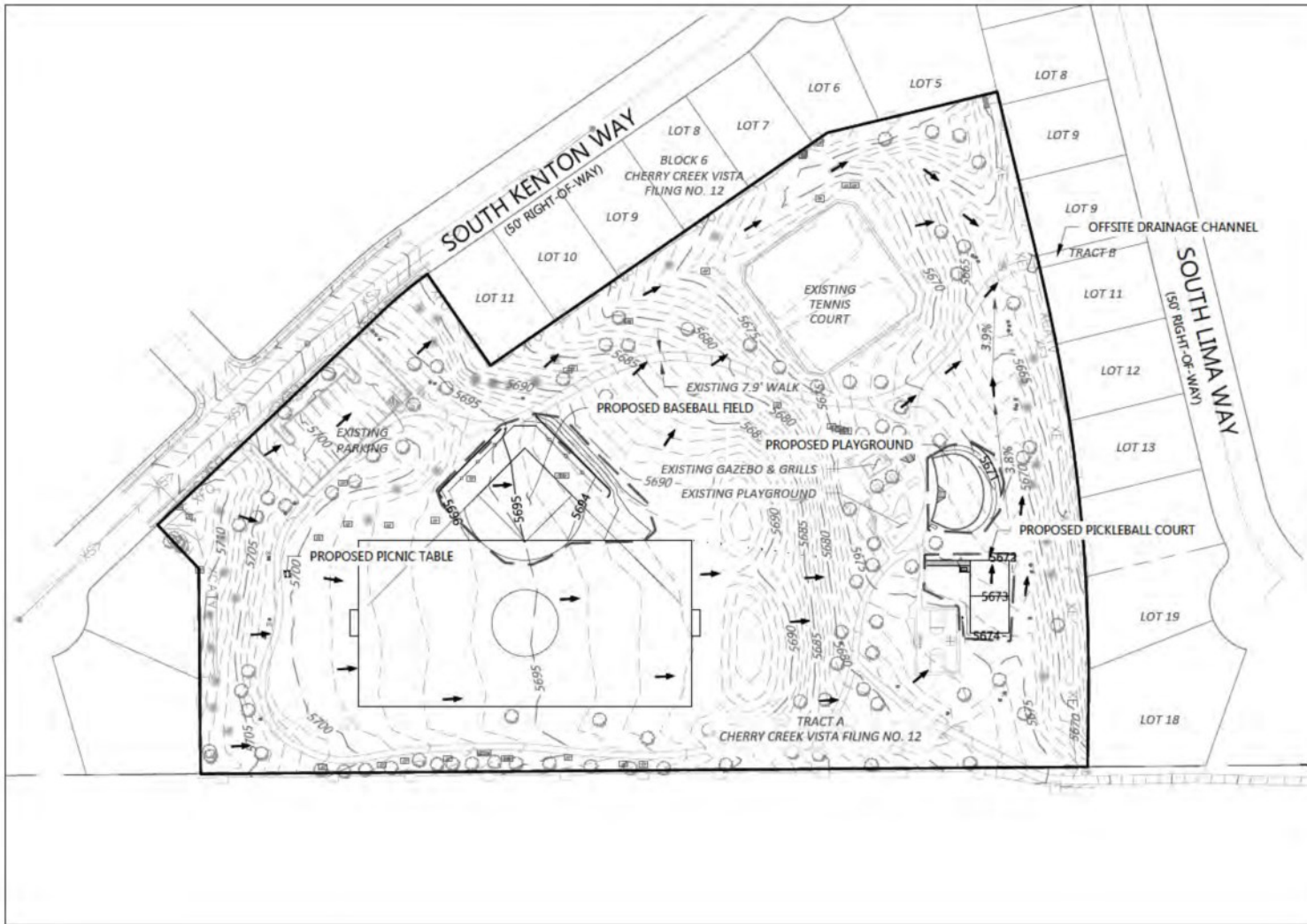
If you have any questions regarding this letter, please do not hesitate to contact me at 303.325.5709.

Sincerely,

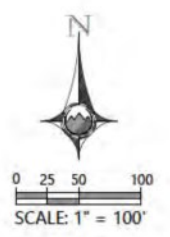


Jason DeYoung, PE

PROOF CIVIL CO.
a Colorado Corporation



- LEGEND:**
- PROPERTY LINE
 - PROPOSED BUILDING
 - EXISTING BUILDING
 - PROPOSED EASEMENT
 - EXISTING EASEMENT
 - PROPOSED BASIN BOUNDARY
 - HISTORICAL BASIN BOUNDARY
 - PROPOSED 5' CONTOUR
 - PROPOSED 1' CONTOUR
 - EXISTING 5' CONTOUR
 - EXISTING 1' CONTOUR
 - PROPOSED STORM LINE W/F.E.S.
 - EXISTING STORM LINE W/F.E.S.
 - PROPOSED SAWCUT
 - PROPOSED STORM INLET
 - EXISTING STORM INLET
 - FLOW DIRECTION



Grading, Erosion and Sediment Control (GESC) Report and Plan

Peakview Park

(JN: 20067)

6294 S Kenton Way
Englewood, CO

February 11, 2021

Prepared for:

Cherry Creek Vista Parks & Recreation District

Attn: Sarah Shepherd
11350 E Orchard Rd
Englewood, CO 80111
303.770.4295

Prepared by:

Proof Civil

Jason DeYoung, PE
600 Grant Street Suite 210
Denver, CO 80203
303.325.5709

SEMSWA Case No. PS20-00137

Certification

"This Grading, Erosion and Sediment Control (GESC) document has been placed in the SEMSWA file for this project and appears to fulfill the latest version of the SEMSWA Grading, Erosion and Sediment Control Manual. Additional grading, erosion and sediment control measures may be required of the owner or his/her agents, due to unforeseen erosion problems or if the submitted plan does not function as intended. The requirements of this GESC document shall run with the land and be the obligation of the land owner, or his/her designated representative(s) until such time as the plan is properly completed modified or voided."

Owner's Statement

"I hereby certify that the Grading, Erosion, and Sediment Control measures for Peakview Park shall be constructed according to the design presented in this document. I understand that additional erosion control, sediment control and water quality enhancing measures may be required of the owner and his or her agents due to unforeseen pollutant discharges or if the submitted plan does not function as intended. The requirements of the plan shall be the obligation of the land owner and/or his successors or heirs; until such time as the plan is properly completed, modified or voided."

Owner or Authorized Agent

Authorized Signature

Engineer's Statement

"I hereby attest that this Grading, Erosion, and Sediment Control (GESC) document for Peakview Park has been prepared by me or under my direct supervision, and to the best of my knowledge and ability has been prepared in accordance with the latest version of the SEMSWA GESC Manual. The signature and stamp affixed hereon certifies that this GESC document was prepared in accordance with the required regulations and criteria; however, the stamp and signature does not certify or guarantee future performance of the execution of the plan by the Contractor. The Contractor is responsible for executing the construction work according to the information set forth in the plan and in accordance with all applicable requirements."

Jason DeYoung
Colorado P.E. No. 45332
For and on behalf of Proof Civil Co.

Table of Contents

Table of Contents	3
I. Project Description.....	5
A. Site Location	5
B. Description of Property	5
II. Existing Site Conditions.....	5
III. Adjacent Areas.....	5
IV. Soils	5
V. Areas and Volumes	6
VI. Erosion and Sediment Control Measures.....	6
A. Land Disturbance and Storage of soils.....	6
B. Vehicle Tracking Control (VTC).....	6
C. Loading and Unloading Operations	6
D. Bulk Storage of Materials	6
E. Significant Dust or Particulate Generating Processes	6
F. Concrete Washout Area (CWA)	6
G. Dedicated asphalt and concrete batch plants.	6
H. Diversion Ditch.....	6
I. Inlet Protection.....	7
J. Curb Socks.....	7
K. Sediment basin.....	7
L. Reinforced Rock Berm	7
M. Erosion Control Blanket	7
VII. Permanent Stabilization	7
VIII. Stormwater Management Considerations	7
IX. Maintenance.....	7
X. Erosion Control Measures - Engineer's Cost Estimate.....	8
XI. Phasing/Schedule	8
A. Installation of Initial BMPs – June 17-19	8
B. Excavation/Grading – June 19-28.....	8
C. Utility Installation – June 20-July 14	8
D. Vertical Construction of Modular Building and Interior Renovation – June 14 – August 8	8
E. Paving and Final Stabilization – June 21 - August 9	8
XII. Calculations.....	8
XIII. References	8

Appendix

Maps and Descriptions

Cost Estimates

GESC Calculations

GESC Checklist

I. Project Description

A. Site Location

This site is comprised of Tract A, Block 6, Cherry Creek Vista Subdivision in Englewood, unincorporated Arapahoe County, State of Colorado. The proposed site is zoned as PUC and is located at 6294 South Kenton Way. The site is bounded to the east, north and west by residential single family development and to the south by the border of the City of Centennial and an industrial development therein.

B. Description of Property

The property has an area of 8.48 acres and consists of the existing Peakview Public Park. The property is comprised of largely pervious irrigated turf and mature trees, with miscellaneous park elements such as paved walking paths, playgrounds, sport courts, and picnic areas. An updated baseball field, proposed pickleball court, and revised playground are being constructed as a part of this development. The total disturbance area is approximately 0.56 acres.

According to the United States Department of Agriculture Natural Resources Conservation Service (NRCS) National Cooperative Soil Survey, onsite soils are identified as Renohill-Buil loams and are classified as Hydrologic Soil Group D. Group D soils are chiefly clays. They have low infiltration rates when thoroughly wetted and have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

According to FEMA Flood Insurance Rate Map Panel #08005Co476L, the subject site is located within flood hazard area Zone X. Zone X is defined as area outside the 0.2-percent-chance (or 500-year) flood. Refer to Appendix A for the applicable FEMA flood map.

II. Existing Site Conditions

The existing site consists largely of irrigated turf that slopes generally from west to east. Site generated runoff sheet flows through the property toward the east, and flows are channelized on the north and east boundaries of the site to an outfall point at along the eastern boundary. At this outfall an offsite concrete channel conveys flows via a residential neighborhood regional drainage system to Cottonwood Creek.

III. Adjacent Areas

The proposed site is zoned as PUC and is located at 6294 South Kenton Way. The site is bounded to the east, north and west by residential single family development and to the south by the border of the City of Centennial and an industrial development therein.

IV. Soils

According to the United States Department of Agriculture Natural Resources Conservation Service (NRCS) National Cooperative Soil Survey, onsite soils are identified as Renohill-Buil loams and are classified as Hydrologic Soil Group D. Group D soils are chiefly clays. They have low infiltration rates when thoroughly wetted and have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

V. Areas and Volumes

The proposed development will require approximately 62 CY of cut and 325 CY of fill, which will result in a required import of approximately 263 CY. It is anticipated that pavement subgrade and use of playground material will bring the small amount of import to balance. Prior to the import/export of material the contractor must coordinate with

SEMSWA Stormwater Inspector. The borrow/fill site if within SEMSWA boundaries, may require approved GESC Permit and Plans/Report additionally, the haul route, number of trips, number of trucks, etc. will need to be coordinated with the SEMSWA Stormwater Inspector.

VI. Erosion and Sediment Control Measures

All erosion and sediment control measures shall be installed, implemented, and maintained per SEMSWA GESC Manual. Refer to GESC plan for location and details of BMPs.

A. Land Disturbance and Storage of soils

All the existing vegetation within the limits of disturbance will need to be stripped and vegetation that cannot survive replanting can be disposed of or reused in landscape areas. Any topsoil shall be set aside and respread in areas to be vegetated. Re-spreading of former in-situ topsoil in areas to be vegetated is a mandatory practice and will be specified on the GESC Plans. As the project includes very little area to be revegetated, a fenced consolidated stockpile area has not been included in the GESC Plans.

B. Vehicle Tracking Prevention

Correlating to the limited areas of disturbance, irrigated turf shall not be disturbed for a structural vehicle tracking pad. Any equipment that tracks over disturbed areas shall be thoroughly cleaned prior to entrance onto a paved surface. Concrete paths shall be used to access disturbance areas and no access over turf shall be permissible except where necessary in the immediate areas of proposed improvements.

C. Loading and Unloading Operations

Loading and unloading trucks and machinery shall be performed on paved areas and shall not disturb irrigated turf areas..

D. Bulk Storage of Materials

It is not anticipated to have bulk storage of materials since it is a relatively small site and the volume of materials required is insignificant. If for whatever reason, bulk storage is required, the materials shall be protected with silt fence or other erosion control measures per the GESC Manual.

E. Significant Dust or Particulate Generating Processes

If dust or particulates begin to generate in result from construction, a water truck or other means of watering the area with significant dust or particulate shall be used to reduce or eliminate the dust or particulates.

F. Concrete Washout Area (CWA)

A concrete Washout area shall be designated on the proposed site per the GESC plan. The Concrete washout area must be more than 50' away from the proposed conveyance swale.

G. Dedicated asphalt and concrete batch plants.

There are no batch plants to be used for this development.

H. Curb Socks

Curbs socks shall be installed per SEMSWA standard detail. They shall be maintained and remain in place per SEMSWA standard regulations.

I. Reinforced Rock Berm

A reinforced rock berm will be added to the existing swale along the eastern boundary of the site to prevent transference of any silt or sediment into South Lima Way from the disturbed areas on the east side of the site.

VII. Permanent Stabilization

The permanent stabilization measures for the proposed site include the installation of the proposed sporting facilities, permanent seeded conveyance swale, and permanent seeding the proposed detention pond.

VIII. Stormwater Management Considerations

Prior to any construction activities, silt fence shall be installed along the east side of the baseball field, pickleball court, and playground areas.

IX. Maintenance

The contractor is responsible to maintain the proposed BMPs in good working condition and inspect the BMPs weekly and after any significant precipitation event, in accordance with SEMSWA regulations. It is the responsibility of the contractor to also monitor the effectiveness of the proposed BMPs are utilized throughout the site as warranted by site conditions to ensure that erosion is minimized, and sediment is not conveyed offsite.

X. Erosion Control Measures - Engineer's Cost Estimate

The Erosion Control BMPs associated with the proposed project are estimated at \$6,359 and \$5,100 for the Initial/Interim GESC Phases and Final GESC Phase respectively, for further detail see the Engineer's Cost Estimate with the appendix of this report.

XI. Phasing/Schedule

The anticipated construction schedule is as follows:

A. Installation of Initial BMPs – July 5-7

Perimeter controls such as silt fence, reinforced rock berm and concrete washout are installed.

B. Excavation/Grading – July 8-16

C. Installation of Park Improvements – July 19-30

D. Final Stabilization – August 2-4

Concrete washout removed as concrete installation concludes. All other remaining BMPs are removed following final site stabilization.

XII. Calculations

































See the appendix of this report for all sizing calculations associated with the BMPS being utilized as part of this proposed development

XIII. References

(2018, May). *GESC Manual*. Southeast Metro Stormwater Authority.

Hydrologic Soil Group—Arapahoe County, Colorado
(Peakview Park)

MAP LEGEND

Area of Interest (AOI)	 C
 Area of Interest (AOI)	 C/D
Soils	 D
Soil Rating Polygons	 Not rated or not available
 A	Water Features
 A/D	 Streams and Canals
 B	Transportation
 B/D	 Rails
 C	 Interstate Highways
 C/D	 US Routes
 D	 Major Roads
 Not rated or not available	 Local Roads
Soil Rating Lines	Background
 A	 Aerial Photography
 A/D	
 B	
 B/D	
 C	
 C/D	
 D	
 Not rated or not available	
Soil Rating Points	
 A	
 A/D	
 B	
 B/D	

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Arapahoe County, Colorado
Survey Area Data: Version 16, Jun 4, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Oct 3, 2018—Dec 4, 2018

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
RhD	Renohill-Buick loams, 3 to 9 percent slopes	D	8.4	99.3%
RhE	Renohill-Buick loams, 9 to 20 percent slopes	D	0.1	0.7%
Totals for Area of Interest			8.5	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Hydrologic Soil Group—Arapahoe County, Colorado
(Peakview Park)

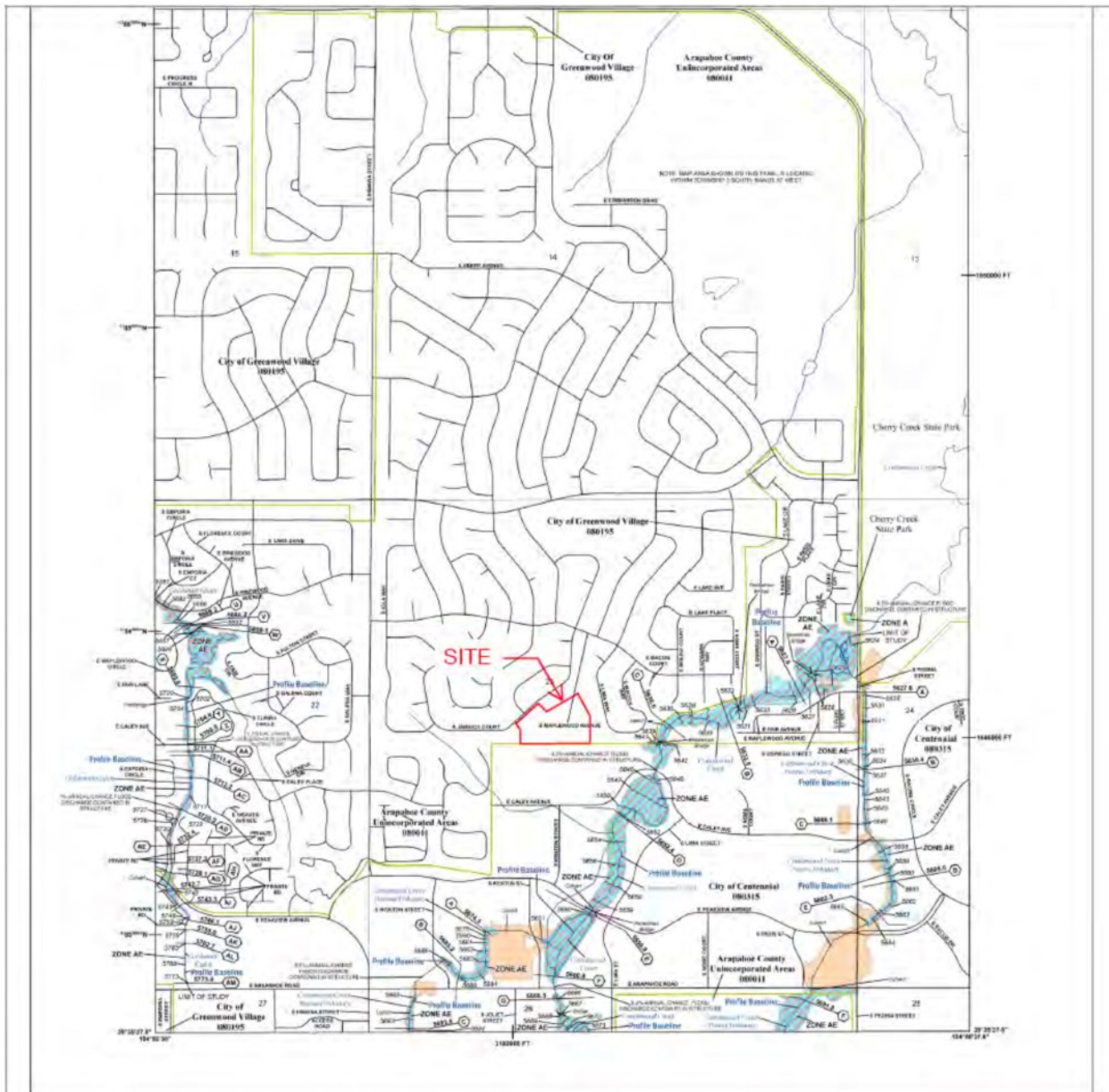


Map Scale: 1:1,610 if printed on A landscape (11" x 8.5") sheet.

0 20 40 80 120 Meters

0 50 100 200 300 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge bis: UTM Zone 13N WGS84



FLOOD HAZARD INFORMATION

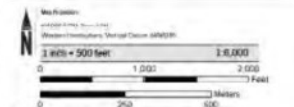
SEE HIS REPORT FOR ZONE DESCRIPTIONS AND INDEX MAP
 FOR INFORMATION EXPANDED ON THIS MAP. ANY ADDITIONAL
 DOCUMENTATION ARE ALSO AVAILABLE IN DIGITAL FORMAT AT
[HTTP://MSC.FEMA.GOV](http://MSC.FEMA.GOV)



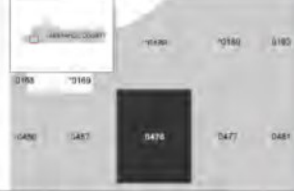
NOTES TO USERS

1. This information and graphics were not used, including products associated with the FEMA website, for the purpose of this report. The information was obtained from the FEMA website for informational purposes only. The information was not used for any other purpose. The information was not used for any other purpose. The information was not used for any other purpose.

SCALE



PANEL LOCATOR



FEMA
 National Flood Insurance Program

NATIONAL FLOOD INSURANCE PROGRAM
 FLOOD INSURANCE RATE MAP

ARAPAHOE COUNTY, COLORADO
 ARAPAHOE COUNTY, COLORADO
 PANEL 476 OF 725

COMMUNITY	SWISSER	FREQ	DEPTH
ARAPAHOE COUNTY	0001	0476	1
ARAPAHOE COUNTY	0002	0476	1
ARAPAHOE COUNTY	0003	0476	1



P.O. Box 359
Littleton, CO 80160
303-482-1002
www.ccvprd.org

Planning Division
Arapahoe County Public Works and Development
6924 South Lima Street
Centennial, CO 80112

Re: Peakview Park Public Outreach Process Overview

On behalf of the board of the Cherry Creek Vista Park and Recreation District's submittal for the Peakview Park site plan, please find attached details as to the public outreach process.

The District received a Planning Grant from the Arapahoe County Open Space competitive grant program in 2020, and used this grant to endeavor upon a public planning process from August 2020 - February 2021.

Below are the requested outreach details including:

1. The Notice letter and mailing address list sent to directly adjacent neighbors of the park.
2. Photos of the sign posted at the park during the planning process.
3. Postcard mailer sent to entire Cherry Creek Vista Park and Recreation District property owner list.
4. Schedule of public outreach, input and planning meetings, with agendas.
5. Site plan presented at public board meetings.
6. Holistic Vision Plan from the public meetings and stakeholder input throughout the process and was approved with the site plan and budget at the Board meeting held on January 21, 2020.

Please let us know if you have further questions or require additional detail as to the process.

Thanks very much for your assistance,
Sarah Shepherd
District Manager
303-482-1002 sees@ccrider.us

A handwritten signature in black ink, appearing to read "Sarah Shepherd", is placed below the typed name and contact information.



1a. Notice Letter



P.O. Box 359
Littleton, CO 80160
303-482-1002
www.ccvprd.org

Notice of Neighborhood Outreach

Dear Neighbor and District Resident

March 1, 2021

Re: Peakview Park Improvement Plan Public Outreach

On behalf of the board of the Cherry Creek Vista Park and Recreation District's (CCVPRD) submittal for the Peakview Park site plan, please find attached details at to the public outreach process.

RE: Q20-128, Peakview Park Improvements
Location: 6294 S. Kenton Way, Englewood

Please be advised that Cherry Creek Vista Park and Recreation District has had a pre-submittal meeting with Arapahoe County for a Site Improvement Construction project on the above-referenced property. As a neighboring landowner and member of the public you are encouraged to participate in this neighborhood outreach.

Please visit the District's homepage and scroll to "Peakview Park" to review the complete draft plans or enter this link to view the full plan packet: shorturl.at/dfDW3.

The site plans include additions to the existing park as well as repairs and maintenance of existing facilities and amenities including:

- New remote-controlled irrigation system throughout the park with proper zones and heads to increase efficiency.
 - New "skinned" dirt baseball infield with larger backstop and benches for youth team practices at the North backstop.
 - New enclosed single pickle-ball court to the North of the existing basketball court.
 - Resurfaced tennis courts with repaired drainage and fencing.
 - New shaded ADA playground across the walkway (to the East) from the old playground for older-aged children, replacement playground equipment and safety surfacing for younger-aged children.
 - Additional seating, replaced benches and trash amenities throughout the park.
-



- Sod reduction in passive areas replaced with low-water landscaping and rock or wood mulch.
- Resealed/resurfaced and re-striped parking lot and re-striped basketball court.

The planning process began last August 2020 with the award of a planning grant by Arapahoe County Open Spaces, and has included a planning committee which met in public meetings both in-person on-site at the park and in virtual meetings. The committee was composed of CCVPRD Board Members, HOA and neighborhood representatives, baseball, soccer and tennis field and court representatives, as well as contracted designers, planners and engineers. Each month at it's regular Board meetings, the CCVPRD Board has received feedback from community and committee members and has reviewed and approved the Peakview Park Holistic Vision Plan as well as the Site Plan.

Plans are ready to be formally submitted to Arapahoe County. **The District is requesting your input at it's public meeting on March 18, 2021 at 5:30 p.m.** This meeting will be held via Zoom due to the ongoing pandemic health department occupancy requirements.

Please join the meeting by visiting the District's homepage (website) at CCVPRD.ORG and clicking on the link or calling in: Zoom Meeting ID: 849 5063 5294 Password: 031821.

Once plans are submitted to Arapahoe County you may provide input during their public hearing process as well. After plans are approved, the District will publicly advertise the construction of the project to solicit competitive construction contractors in hopes that construction may begin in the early fall of 2021 with planned completion before the Spring of 2022.

The District is planning on funding the project through the debt service funds that were authorized by the community during the May 2020 election, as well as through grant funding, if awarded.

For more information about this application please contact Sarah Shepherd, District Manager for the Cherry Creek Vista Park and Recreation District, at 303-482-1002 or sees@ccrider. If you cannot reach the applicant, contact Kelsea Dombrovski, Planning Division, PWD Department, Arapahoe County Government, at (720) 874-6650.

Sincerely,

A handwritten signature in black ink, appearing to read "Sarah Shepherd", written over a light blue horizontal line.

Sarah Shepherd District Manager

Attachments (example on next page—each page was sent as full page attachment):

Vicinity Map

Site Plan/Rendering

Visit ccvprd.org to review full site plans



Copy of presentation at January meeting (please see end of document)

Please see agendas for all public meetings posted on the District's website which include all past meetings with planning updates on this project:

September 17, 2020

October 15, 2020

November 19, 2020

January 21, 2021

Written documentation of comments and attendees are shared via meetings minutes:

September 17, 2020 Minutes

October 15, 2020 Minutes

November 19, 2020 Minutes

Below is an excerpt from the unapproved minutes from the January 21, 2021 Board Meeting where the Presentation was made:

“Peakview Park strategic plan/site meeting presentation/Project Grants:

Ms. Shepherd, Joanna Waldenmyer, from Root Partnership Landscape Design, and Jason DeYoung, from Proof Civil Engineers, presented the Site Plan for Peakview Park. Discussion followed including questions about the budget, funding for the construction project and support from the planning committee to approve the plan as presented. The group representatives noted strong support from the soccer, baseball, tennis users and leaders for the plan, as well as requests from neighbors for the addition of a site for the popular up and coming activity of pickle ball. Current Punch list items and Budget were also presented.

District will send letter notifications via mail to all residents that are directly adjacent to Peakview Park, and will invite them to the next Board meeting in March for input.

Project Grant options and applications to Arapahoe County Open Spaces and GoCo were discussed.

Upon motion by Director Buchalter and seconded by Director Rieck, the Board voted 5-0 to approve starting work on the Grant application with Arapahoe County Open Spaces.”

Response to Feedback

Please note that CCVPRD (the Developer) integrated feedback and comments in each board meeting and planning committee meeting to result in the site plan as presented at the January 21, 2021 board meeting. No other comments have been received via telephone, email or other form of communication to date.



2. Sign Picture shown below was posted at Peakview Park on November 18, 2020 and all other District Parks. [Sign mock up is also shown.]



**3. Postcard Mailer sent to every District Resident in District on October 21, 2020
(2207 addresses as provided by the County Assessor office)**





**4. Schedule of public input process and Stakeholder Agendas/Attendees:
Full Grant Link**

Full Meeting packets can be shared



2020 Open Space Grants - Project Timeline Form

Task	Aug 2020	Sep 2020	Oct 2020	Nov 2020	Dec 2020	Jan 2021	Feb 2021	Mar 2021	Apr 2021
Grant Notification & NA Execution	08/11								
Press Release and Website Notification Recognizing County (ACOS) grantor of Citizen's Tax as Funding Source	08/11								
Consultant Selection Complete (Playground Designer, Landscape Architect, Engineer)		09/11							
Preliminary Surveying, Information Gathering, Stakeholder Identification		08/11-10/11							
Public Meeting #1: Preliminary Review by Stakeholders			10/01						
Preliminary Design & Analysis (site visits, contractor collaboration): Design Concept Established (prelim of all aspects: design, layout, water, soils testing, layout/paving, drainage modeling, assess impact and costs, materials specs)			10/01-10/31						
Community Info/Feedback Postcard Developed and Mailed				11/01					
Public Meeting #2 with Survey Results				11/18					
90% Design: Includes Plan Prep., technical specs & assessments, and budget					11/01-01/15				
Plan/Spec Finalization: Incorporates Surveys, review comments, alternatives, public bidding process						01/01			
Permit Submittals (as required)						01/21			
Present Final Plan Results to BOB of CCVRD (Public Meeting #3), Construction Bid Selection, contingent upon funding							01/21		
Permitting Obtained (as necessary)							01/21		
Final Report to County (ACOS)							02/28		
Website Notice, Press Release, and Stewardship/Celebration for County (ACOS) and other contributors and partners (depending on schedule)								03/01-04/01	

October Planning Group Meeting Agenda and Planning Group List: [\(link\)](#)

- Cathy Weissberg, Recreation Plus Playgrounds
- Chris Baerns, Centennial Youth Baseball Rep.
- David Mohrhaus, District Board Member
- Lisa Mauvais, HOA Representative
- Lindsey Reese, District Management
- Melissa Wilson, Former District Board and Resident Representative
- Sarah Shepherd, District Manager
- Valerie Watts, HOA Representative
- Jill Accame, HOA Board President
- Caitlin Quattromani, Resident Representative
- Gina King, Skyline Soccer Representative
- Howard Buchalter, District Board Member
- Jason DeYoung, Project Engineer
- Joanna Waldenmeyer, Root Landscape Design
- Pam Lukes, USTA League Volunteer
- Scott Fong SF Tennis, Tennis Program Coach
- Venesa Gasewicz, Resident Representative

Cherry Creek Vista Park and Recreation District
 Preliminary Park Planning Meeting Agenda
 Via Zoom: 866-255-5111 Health Update
 Contact: Sarah Shepherd, 303-453-7147 (x40)
 October 23, 2020 1:00 p.m. - 1:45 p.m.
 Community of Contributed Values

- 1:00 p.m. - Welcome and Introductions
- 1:10 p.m. - Review of Site History and Existing Conditions
- 1:20 p.m. - Update on access, fees, and availability
 - Delivery why the above considerations are now and in future for resiliency and sustainability
- 1:40 p.m. - Recommendations and collaborative input
 - Present groups and discuss priorities
 - Present ideas
- 4:00 p.m. - Create our "Contributed Values" which will define the "Quality of Life" that we seek to achieve for anyone who has any interaction with the park, the actions we will take to achieve that quality of life that we defined, and we will describe the future landscape and implications of the park.
- 4:30 p.m. - Update and assign the next steps, timelines, and deliverables for the project
- 5:00 p.m. - Adjourn (this will take about 15 min)



November 3, 2020 3pm-5pm Planning Group Site Visit to walk full park
Site Meeting Attendees:

David Mohrhaus, District Board Member
 Lisa Mauvais, HOA Representative
 Melissa Wilson, Former District Board and Resident Representative
 Sarah Shepherd, District Manager
 Valerie Watts, HOA Representative
 Jill Accame, HOA Board President
 Howard Buchalter, District Board Member
 Jason DeYoung, Project Engineer
 Joanna Waldenmeyer, Root Landscape Design
 John Keesen, Hydrosystems Irrigation Design

Cherry Creek Vista Park and Recreation District
 Recreation Park Planning Community Consensus Meeting Agenda
 Via Zoom due to COVID Health Orders
 Contact: Sarah Shepherd 970-822-7740 (cell)
 January 11, 2021 3:30pm - 5:00pm
 Plan, Design Review and Project Timeline

3:30 pm - Welcome and Introductions
 3:45 pm - Review and Recommendations of Consultant Vision Document
 3:45 pm - Discussion regarding the plan

- * Report on meetings with County Planning Department (15 M)
- * Plan and amenity locations for addition and improvements (1.5 H)
 Playground addition and modification (Recreation Plan)
 Tennis Court (Resort and community) (Recreation Plan)
 Baseball/softball (Resort) (Recreation Plan)
 Pickleball (community representation)
 Landscaping and recreation amenities (Recreation Plan)
 Parking lot (Recreation and Pool/Civil)
 Irrigation System (Hydro-systems)
 Trail/linear Pathway (Landscape/Recreation/Community Representation)
- * Budget review and funding opportunities available for 2021 (1.5 H)
 Arapahoe County Grant
 Grand Outdoor Colorado Grant
- * Potential location for plan review and construction (1.5 H)

5:00 pm - Recommendations to the District Board of Directors and Adjuncts

January Planning Group Meeting Agenda and
Planning Group List (link)

Cathy Weissberg, Recreation Plus Playgrounds
 Chris Baerns, Centennial Youth Baseball Rep.
 David Mohrhaus, District Board Member
 Lisa Mauvais, HOA Representative
 Lindsey Reese, District Management
 Melissa Wilson, Former District Board and
 Resident Representative
 Sarah Shepherd, District Manager
 Valerie Watts, HOA Representative
 Jill Accame, HOA Board President
 Caitlin Quattromani, Resident Representative
 Gina King, Skyline Soccer Representative
 Howard Buchalter, District Board Member
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 Pam Lukes, USTA League Volunteer
 Scott Fong SF Tennis, Tennis Program Coach
 Venesa Gasewicz, Resident Representative
 John Keesen, Hydrosystems Irrigation Design



Cherry Creek Vista Park and Recreation District

ABOUT THE PROJECT:

Peakview Park is located at 6294 S Kenton Way, Englewood, CO 80111.

This is the holistic description of what we are trying to manage including:

People, resources, money, and land.

ABOUT THE PARK: The park currently has a playground, gazebo, parking lot, basketball court, 2 tennis courts, soccer and baseball fields with goals and backstops, pathways, connector trail to Prairie Vista Park and Cherry Creek State Park via Cottonwood Creek Trail System, benches, picnic tables, grill, and many mature and young shade trees.



Thanks to our partners: Arapahoe County Open Space, for its grant funding this planning process, Cherry Creek Vista South HOA, and to the park planning professionals and community members for making the park revitalization possible.

Peakview Park Holistic Vision Plan 2020

www.ccvprd.org

Holistic Vision: Summary:

Peakview Park will serve to enhance and expand the best elements of District's park-system, providing unique and various elements for active and passive recreation. It is a neighborhood park with regional feel, due to its expansive views, skyline, topography, and connection to greater State Park trail system. It will be a place for active organized or recreational fun, a quiet destination, and a trailhead for sports teams and leagues, neighbors, families, and adventurers.

Decision Makers:

5 Voting District Board members
County Divisions
Denver Water
SEMSWA

With input from:

Community and Homeowners
Contractors and consultants
Landowner neighbors
Design team
Recreation sports teams and leagues
Maintenance team
Volunteers, users, municipal partners

Quality of life statements:

Magnet for area residents
Family oriented
Link area to East with trails
Dog Users
Walking pathways highly used
Tennis players and leagues
Active and Passive Users (soccer, baseball)
Community Event hub
Place to relax and get away, especially during pandemic
Connection to Cherry Creek State Park
Cool green relief space
Neighborhood to regional connector
Big views
Quiet and play places
Year-round activity engagement step to nature in the suburban region

Resource Bases:

Current:

Park and open spaces and skyline, pathways
Irrigation, Soccer Field, Baseball field, tennis courts, basketball court
Grass and landscaped areas
Gazebo, seating, grill, picnic tables
Parking lot, kiosk, signage

Future:

Expanded seating and picnic areas
Expanded low water landscape plants, mulch, rock, trees
Refurbished parking and tennis courts
New game ready baseball infield and expanded backstop and benched
New irrigation and drainage
New playground and replaced playground
Increased signage and ADA access
Increased Shade
Grant and debt service funds
Partner funds

Forms of Production

HOA and land owners and users cooperation and input
Safe and fun playgrounds, fields, active and passive amenities
Signage and spaces in good condition
Recreation and rental permitting systems and communication
Sufficient installation and maintenance budget and funding partners

RECREATION PLUS, LTD.



Proposal/Order Form



c/o Recreation Plus, Ltd.
15209 West Ellsworth Drive, Golden, CO 80401
Telephone: (303) 278-1455 / Email: admin@recreationplus.com

Submitted To: **Joanna Waldenmyer** Date: **3/30/21**
Root Partnership Job Name: **Peakview**
 Phone: **303-901-6287** Job Location: **Cherry Creek, CO**
 Email: jwaldenmyer@rootpartnership.com

Updated Cost Estimate for Peakview Project - added coring charge, benches and updated 6' Picnic Table

ITEM	PART #	QTY	DESCRIPTION	UNIT PRICE	TOTAL PRICE W/ ALL AVAILABLE DISCOUNTS
1	IMF2to5	1	Peakview Area 2 to 5	\$ 30,307.00	\$ 24,852.00
2	IMF5to12	1	Peakview Area 5 to 12	\$ 69,345.00	\$ 57,863.00
3	FIBAR	4521	4521 sqft FIBAR for both areas, full system. Unit price has discount applied.	\$ 2.80	\$ 12,658.80
4	WI11113C	7	6' Bench w/back, w/arms - sq perf - port/sm avail	\$ 885.00	\$ 6,195.00
5	LR355P/ LR510H/ FT115N	8	55 Gallon Receptacle, Perforated Receptacle with Heavy Duty Rigid Plastic Liner, Flat top Lid to 55 Gallon	\$ 635.00	\$ 5,080.00
6	LTPQ106Q	2	IMF 8' Picnic Table	\$ 967.00	\$ 1,934.00
7	LTPQ201Q	1	IMF 6' Picnic Table	\$ 1,011.00	\$ 1,011.00
8	1100-14-LK	2	PW removable bollard	\$ 662.00	\$ 1,324.00
9	1103-15G	2	15' Aluminum Bench; with Back; Galvanized frame; Inground Mount	\$ 940.00	\$ 1,880.00

NOTES: Coring charge does not include 7 players benches. If these need to be cored it will be \$400 per bench.

SUBTOTAL w/ DISCOUNT	\$ 112,797.80
PLAYGROUND FREIGHT	\$ 4,000.00
SITE FURNISHINGS FREIGHT	\$ 3,260.00
SALES TAX	HOT INCLUDED
TOTAL:	\$ 120,057.80

ADD TO TOTALOPTIONAL INSTALLATION:	\$ 26,906.00
ADD TO TOTAL OPTIONAL INSTALLATION FOR SITE FURNISHINGS:	\$ 6,000.00
ADD TO TOTAL OPTIONAL CORING CHARGE **\$200 FOR TABLE AND BOLLARD:	\$ 400.00
TOTAL WITH INSTALLATION AND FREIGHT:	\$ 152,701.80

Cost of permits are not included. It is the responsibility of the owner/general contractor
 Sales Tax Exempt Certificate required when placing order.
 PRICING SUBJECT TO CHANGE DEPENDING ON FINAL PROJECT SPECIFICATIONS

PROJ. NO.	15209 W. ELLSWORTH DR. GOLDEN, CO
DATE	3/30/21
BY	J. WALDENMYER
FOR	ROOT PARTNERSHIP
REMARKS	
REVISIONS	
APPROVED BY	
DATE	

ACCEPTANCE OF PROPOSAL: The above prices specifications and conditions are satisfactory and are hereby accepted. Any alterations or deviations from the above will be executed only upon written orders and will become an extra charge over and above the estimate. Please be assured your order will receive our prompt attention.	SIGNATURE:
	TITLE:
	DATE OF ACCEPTANCE:



Peakview Park

6294 S Kenton Way, Englewood, CO 80111

June 3rd, 2020

We are pleased to offer the following budget estimate for Peakview Park. A formal quote will be provided following a visit from a DuraEdge Representative at the site to confirm existing conditions. This pricing is subject to change.

1. Peakview Park - \$67,500
 - 275 tons of DuraEdge Recreational Infield Mix
 - Installation Services
 - Remove approximately 14,400 square feet of sod and dispose
 - Prep the subgrade and install 275 tons of infield mix
 - Laser grade, compact and groom for play
 - Sod will be placed in adjacent parking lot. Disposal to be owner's responsibility
 - Install 2 dugout benches
 - Install approximately 300 linear feet of curb

Pricing provided in this Budget Estimate is subject to change. Prices include Prevailing Wage Rates. Prices DO NOT include additional Bond Costs, applicable sales or related taxes or any other unforeseeable needs.

DuraEdge Products, Inc. DBA Homefield Athletic

149 South Broad Street, Grove City, PA 16127

Phone: 724-870-4250 Fax: 724-264-4174

www.duraedge.com